

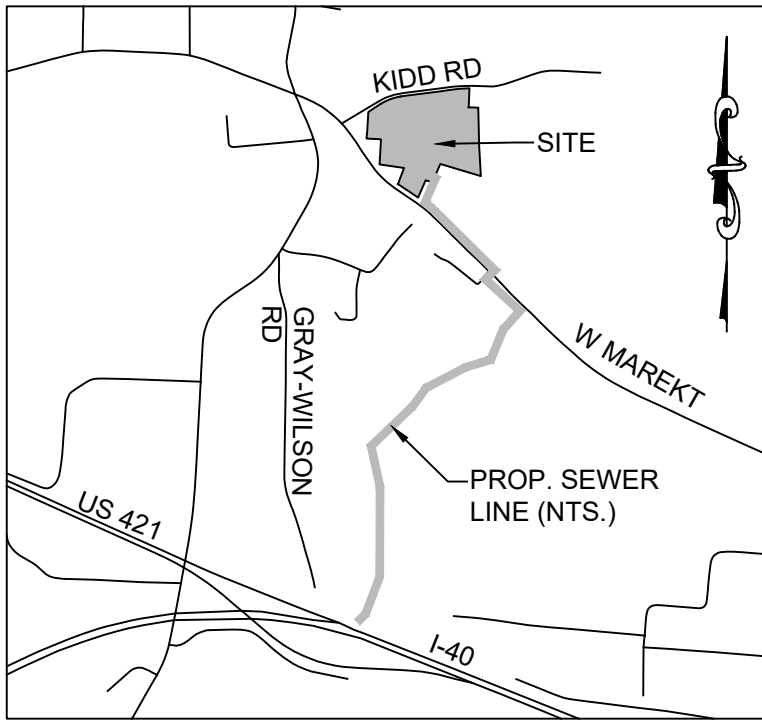
HEARTLAND LIVING & REHABILITATION SANITARY SEWER OUTFALL PLAN AND PROFILE

COLFAX * GUILFORD COUNTY
NORTH CAROLINA
DATE: 09/22/2025

LAT: 36.097534
LONG: -80.011763

DEVELOPER INFORMATION:
CENTURY CARE MANAGEMENT
130 EDINBURGH S DR # 208
CARY, NC 27511
(919) 467-8686

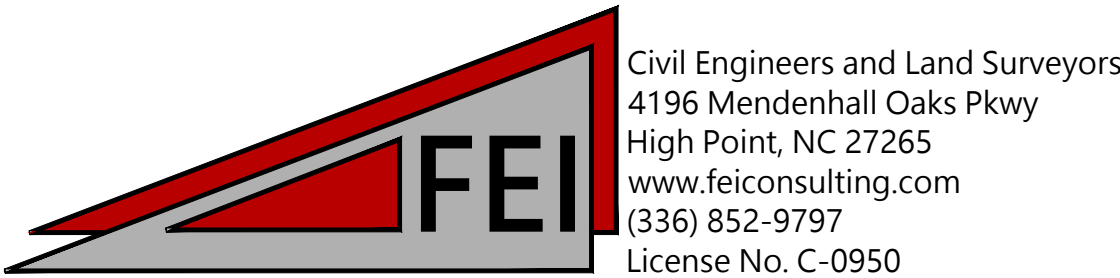
ENGINEERING CONTACT
BRENT SIEVERS, PE
4196 MENDENHALL OAKS PKWY
HIGH POINT, NC 27265
(336) 544-6432
BSIEVERS@FEICONCONSULTING.COM



VICINITY MAP
1"=2000'

Sheet List Table	
Sheet Number	Sheet Title
1	Cover Sheet
2	COG Cover Sheet
3	Abbreviations & Legend
4	Overall Outfall Site Plan
5	Utility Plan & Profile STA 0+00 - 9+00
6	Utility Plan & Profile STA 9+00 - 19+75.00
7	Utility Plan & Profile STA 19+75.00 - 29+26.82
8	Utility Plan & Profile STA 29+26.82 - 39+19.10
9	Utility Plan & Profile STA 39+19.10 - 45+16.48
10	Utility Plan & Profile STA 0+00 - 9+42.27
11	Utility Plan & Profile STA 9+42.27 - 15+32.78
12	Details

CONSTRUCTION INSPECTION IS
REQUIRED FOR 24" AND 18"
SANITARY SEWER INSTALLATION,
CALL (336) 373-2377 TO SCHEDULE
AN INSPECTOR.



WATER:	0 L.F. X \$1.50 = \$0
SEWER:	6,058 L.F. X \$1.50 = \$9,087.00
RDWY:	0 L.F. X \$1.50 = \$
TOTAL:	\$9,087.00

☐ ROADWAY TO BE PRIVATELY INSPECTED
DATE FEES (S) RECEIVED BY CITY OF GREENSBORO

ABBREVIATIONS				SYMBOLS & LINETYPE LEGEND					
ABAN AC AGG ARV ASPH ABC BC BFP BEG BMP BOL BTM BLDG CIP CB CL CO CBU COMM CONC CMON CONST CMP CRK CY C&G CI DB DEMO DIA DOM DCA DE DWG DWY DI DIP ESMT EC EG EP E EMH EL,ELEV EX FC FO FG FFE FDC FH FES FL FIP FIR G GV GI HVAC HDPE HYD INV IRR		ABANDONED ACRES AGGREGATE AIR RELEASE VALVE ASPHALT ASPHALT BASE COURSE BACK OF CURB BACKFLOW PREVENTER BEGIN BEST MANAGEMENT PRACTICES BOLLARD BOTTOM BUILDING CAST IRON PIPE CATCH BASIN CENTERLINE CLEANOUT CLUSTER BOX UNIT COMMUNICATION CONCRETE CONCRETE MONUMENT CONSTRUCTION CORRUGATED METAL PIPE CREEK CUBIC YARDS CURB AND GUTTER CURB INLET DEED BOOK DEMOLITION DIAMETER DOMESTIC DOUBLE CHECK ASSEMBLY DRAINAGE EASEMENT DRAWING DRIVEWAY DROP INLET DUCTILE IRON PIPE EASEMENT EDGE OF CONCRETE EDGE OF GRAVEL EDGE OF PAVEMENT ELECTRICAL ELECTRICAL MANHOLE ELEVATION EXISTING FACE OF CURB FIBER OPTIC FINISH GRADE FINISHED FLOOR ELEVATION FIRE DEPARTMENT CONNECTION FIRE HYDRANT FLARED END SECTION FLOW LINE FOUND IRON PIPE FOUND IRON ROD GAS GATE VALVE GRATE INLET HEATING, VENTILATION, AIR CONDITIONING HIGH DENSITY POLYETHYLENE HYDRANT INVERT IRRIGATION		LT LP LF MH MAX MBL MJ MIN MON NIC NTS OC OHP PG PED PB PVC PCC PWR PP PL PROP R RR RPZ RCP R/W RT SS SSCO SSMH SVC SIP S/W SDE SF STD STA SD STMH TMH TPED TEMP T/C TBM TYP UG UE VG VCP WTR WL/WM WV YI LEFT OFFSET FROM CENTERLINE LIGHT POLE LINEAR FEET MANHOLE MAXIMUM MAXIMUM/MINIMUM BUILDING LINE MECHANICAL JOINT MINIMUM MONUMENT NOT IN CONTRACT NOT TO SCALE ON CENTER OVERHEAD UTILITIES PAGE PEDESTRIAN PLAT BOOK POLYVINYL CHLORIDE PORTLAND CEMENT CONCRETE POWER POWER POLE PROPERTY LINE PROPOSED RADIUS RAILROAD REDUCED PRESSURE BACKFLOW REINFORCED CONCRETE PIPE RIGHT OF WAY RIGHT OFFSET FROM CENTERLINE SANITARY SEWER SANITARY SEWER CLEANOUT SANITARY SEWER MANHOLE SERVICE LATERAL SET IRON PIPE SIDEWALK SIGHT DISTANCE EASEMENT SQUARE FEET STANDARD STATION STORM DRAIN STORM MANHOLE TELEPHONE MANHOLE TELEPHONE PEDESTAL TEMPORARY TOP OF CURB TRAVERSE BENCHMARK TYPICAL UNDERGROUND UTILITY EASEMENT VALLEY GUTTER VITRIFIED CLAY PIPE WATER WATER MAIN WATER VALVE YARD INLET		PROPOSED EXISTING ADA ACCESSIBLE ROUTE CENTERLINE COMMUNICATIONS (UNDERGROUND) CONTOUR LINES CREEK, STREAM OR WATER BODY CURB & GUTTER DISTURBED AREA DITCH DIVERSION BERM DIVERSION BERM (CLEAN) DRAINAGE AREA EASEMENT (ACCESS) EASEMENT (BMP) EASEMENT (DMUE) EASEMENT (DRAINAGE) EASEMENT (SANITARY) EASEMENT (STORM) EASEMENT (WATER) EASEMENT (MISC) ELECTRIC (OVERHEAD) ELECTRIC (UNDERGROUND) EROSION BAFFLE FENCE FLOODPLAIN FLOODWAY GAS LINE GUARDRAIL LANDSCAPE BUFFER LANDSCAPED AREA PHASE LINE PROPERTY LINE (ADJACENT) PROPERTY LINE (SUBJECT) RAILROAD TRACKS RIGHT OF WAY ROOF DRAIN SANITARY SEWER (FORCEMAIN) SANITARY SEWER (GRAVITY) SETBACKS SILT FENCE STORM DRAIN STREAM BUFFER (ZONE 1) STREAM BUFFER (ZONE 2) WATER MAIN WOODS LINE		PROPOSED EXISTING BACKFLOW PREVENTER BENCHMARK BLOWOFF CATCH BASIN COMMUNICATION BOX OR MANHOLE COMPUTED POINT CURB INLET DRAINAGE MANHOLE ELECTRIC METER ELECTRIC PEDESTAL FIBER OPTIC PEDESTAL OR MARKER FIRE DEPARTMENT CONNECTION FLARED END SECTION GAS METER OR MARKER GAS VALVE HEADWALL OR ENDWALL HVAC HYDRANT IRON PIPE LIGHT POLE MISCELLANEOUS METER MISCELLANEOUS UTILITY PEDESTAL OR MARKER REDUCER RIGHT OF WAY MONUMENT ROCK DAM SANITARY CLEANOUT SANITARY MANHOLE SHRUB TRANSFORMER TRANSMISSION TOWER TREE (CANOPY) TREE (UNDERSTORY) UTILITY POLE WATER METER WATER VALVE WELL YARD GRATE YARD INLET SWALE NUMBER	
				HATCHING & SHADING ASPHALT BUILDING CONCRETE GRAVEL RIP RAP ROCK					

ALL CONSTRUCTION MUST CONFORM TO THE
UNDERGROUND UTILITY PROTECTION ACT

BEFORE YOU DIG!
CONTACT ONE-CALL CENTER

HEARTLAND LIVING & REHABILITATION

REHABILITATION

PROJECT LOCATION:
TOWNSHIP COLFAX
COUNTY GUILFORD
STATE NORTH CAROLINA

DEVELOPER INFORMATION:
CENTURY CARE MANAGEMENT
130 EDMUNDOURTH DR # 208
FARMINGTON, NC 27831
(919) 467-5886

REVISION NOTE

NO	DATE	ISSUED FOR REVIEW

DRAWN BY: FEI
CHECKED BY: FEI
DATE: 09/22/2025
PROJECT NO.: 03079.002
REF. NO.:
SCALE: N/A

PRELIMINARY
NOT FOR
CONSTRUCTION

SEAL
09/27/25
CLEMENTLEY C. SEVEN

SHEET
3 OF 12

Civil Engineers and Land Surveyors
4196 Mendenhall Oaks Pkwy
High Point, NC 27265
www.feiconsulting.com
(336) 852-9797
License No. C-0950

FEI



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License No. C-0950

HEARTLAND LIVING & REHABILITATION

DEVELOPER INFORMATION:
CENTURY CARE MANAGEMENT
1301 EDINBURGH S DR # 208
DURHAM, NC 27611
(919) 487-2669

PROJECT LOCATION:
TOWNSHIP, GUILFORD
COUNTY, GUILFORD
STATE, NORTH CAROLINA

NO.	DATE	REVISION NOTE
1	09/22/2025	ISSUED FOR REVIEW

DRAWN BY: FEI

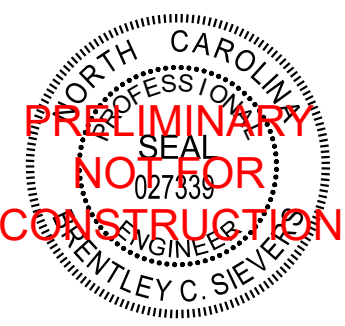
CHECKED BY: FEI

DATE: 09/22/2025

PROJECT NO.: 03079.002

REF. NO.:

SCALE: N/A



SITE DATA:
CENTURY CARE MANAGEMENT
TOTAL AREA: 20.73 AC
DISTURBED AREA: 4.05 AC

WATERSHED DATA:
WATERSHED: WEST FORK DEEP RIVER
WATERSHED CLASSIFICATION: WS-IV (P)
RIVER BASIN: CAPE FEAR RIVER BASIN
SOIL TYPES: CK8, CKC, CLB2, CNA, PPD2, PPE2
AVG. SLOPE: 24.649%

GENERAL NOTES:

- ALL ADJOINING LINE WORK IS BASED ON FIELD SURVEY PERFORMED BY FEI EXCEPT FOR SUBJECT PROPERTY.
- ALL CALCULATIONS ARE APPROXIMATE. SQUARE FOOTAGE AND LINEAR FEET. ALL DISTURBANCE ACTIVITIES SHALL REMAIN WITHIN THE LIMITS OF THE TEMPORARY AND PERMANENT EASEMENTS.
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- A 100-YEAR FLOODPLAIN (SFA) DOES NOT EXIST ON THE PROPERTY BASED ON FIRM MAPS #3710780600J & #3710780500J WITH EFFECTIVE DATE 06/18/2007 (ZONE X).
- ALL TEMPORARY STREAM AND WETLAND CROSSING IMPACTS SHALL FOLLOW CONDITIONS IN THE APPROVED 401 AND 404 PCN CERTIFICATIONS.
- ANY EXISTING DRIVES IMPACTED BY SEWER OUTFALL INSTALLATION SHALL BE RESTORED TO EQUAL OR BETTER CONDITION BEFORE REMOVAL, AT NO TIME SHALL CONSTRUCTION ACTIVITIES LIMIT ACCESS TO PROPERTY OWNERS.
- FROM INFORMATION PROVIDED BY PILOT ENVIRONMENTAL, MAX. PERMANENT EASEMENT WITHIN BUFFERS IS 30' WITH ADDITIONAL 5' TEMPORARY EASEMENT.
- A NCDOT 3-PARTY UTILITY ENCRoACHMENT AGREEMENT WILL BE REQUIRED PRIOR TO PERFORMING CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC R/W OF WEST MARKET STREET (SR 1008). ALL CONDITIONS WITHIN THE ENCRoACHMENT AGREEMENT SHALL BE FOLLOWED DURING CONSTRUCTION ACTIVITIES.
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EROSION CONTROL LEGEND

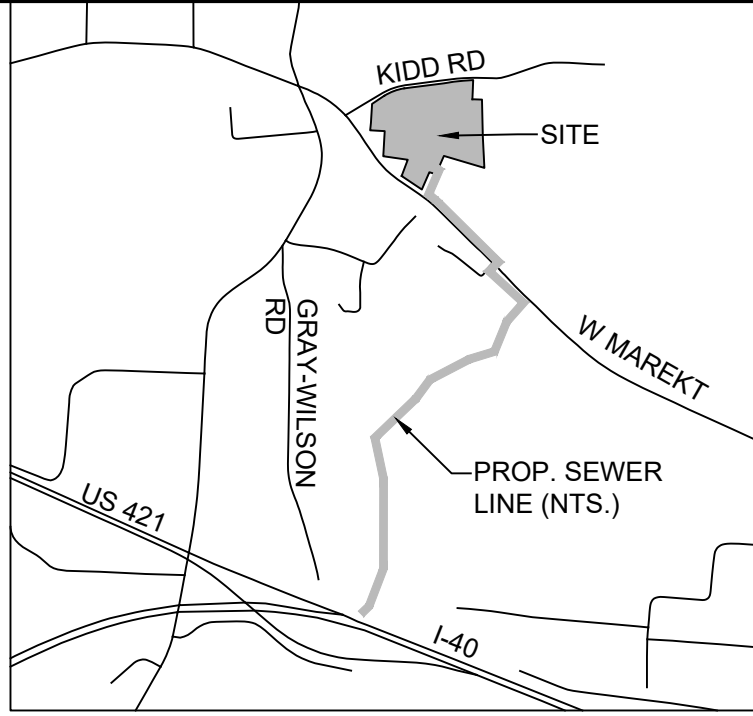
- TEMPORARY EARTH BERM (COG STD 440)
- SILT FENCE (COG STD 430)
- DISTURBED LIMITS
- COIR Baffles (SEDIMENT BASIN/ SKIMMER BASINS)
- EXISTING CONTOURS
- PROPOSED CONTOURS
- CONSTRUCTION ENTRANCE (COG STD 217-A)
- TEMPORARY STREAM CROSSING (COG STD 213)
- SILT FENCE STONE OUTLETS (COG STD 430)
- INLET PROTECTION (COG STD 431)
- STONE CHECK DAM (COG STD 432)
- CURLEX I MATTING

TOTAL DISTURBED AREA: 4.05 AC

TRACER WIRE REQUIRED - FOR PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND BUILDING SEWER. THE TRACER WIRE SIZE SHALL BE NOT LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL. PER 2018 NC PLUMBING CODE ADDENDA, SECTION 306.2.4, EFFECTIVE JANUARY 1, 2021

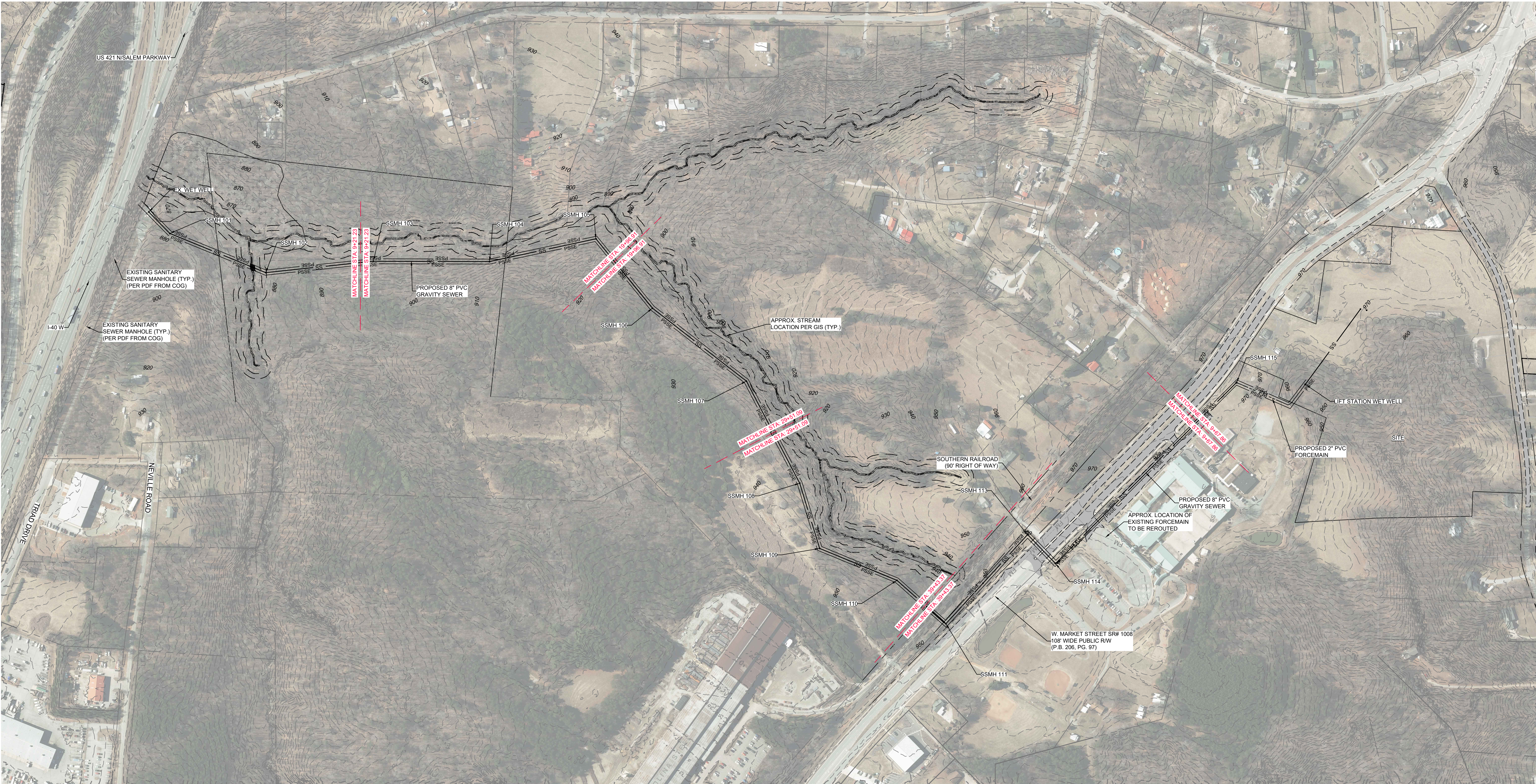
CONSTRUCTION INSPECTION:
CONSTRUCTION INSPECTION REQUIRED
FOR 8" & 10" SANITARY SEWER, CALL
(336) 373-2377 TO SCHEDULE INSPECTOR.

ENCROACHMENT PERMIT IS REQUIRED
THROUGH NCDOT, CALL (336) 487-0100
FOR PERMIT.



VICINITY MAP

1"=2000'



200' 0 200' 400' 600' 800'

SCALE: 1" = 200'

HEARTLAND LIVING &
REHABILITATION

DEVELOPER INFORMATION:
CENTURY CARE MANAGEMENT
130 EDINBURGH S DR # 208
GARY, NC 27601
(919) 676-9888

PROJECT LOCATION:
TOWNSHIP: COLFAX
COUNTY: GULFORD
STATE: NORTH CAROLINA

NO. DATE REVISION NOTE

X-X-X

ISSUED FOR REVIEW

DRAWN BY: FEI

CHECKED BY: FEI

DATE: 09/22/2025

PROJECT NO.: 03079.002

REF. NO.: XX

SCALE: 1" = 200'



SHEET

4 OF 12

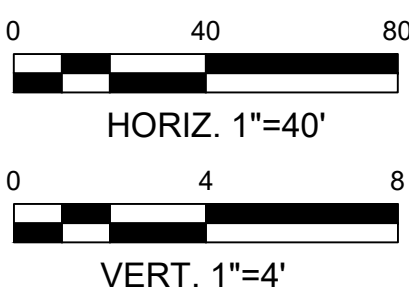
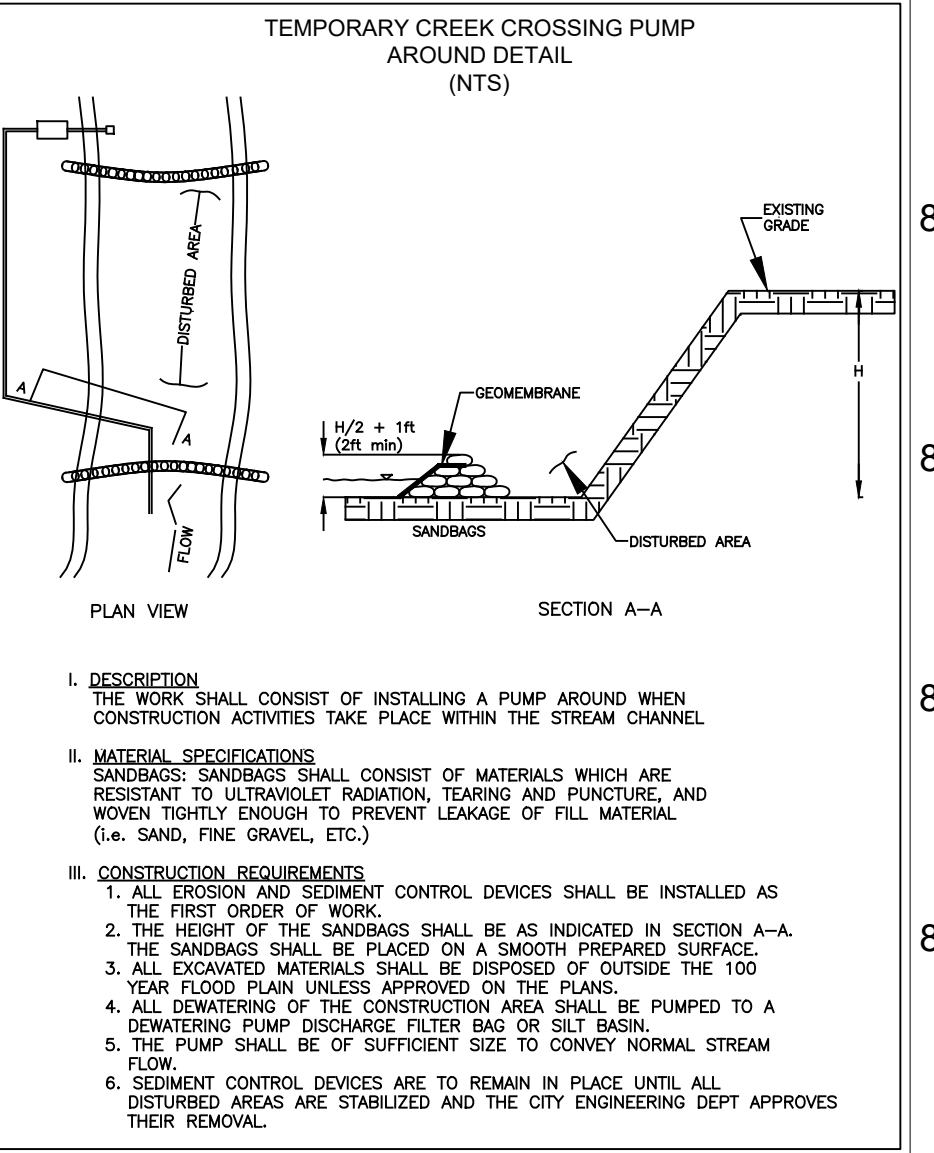
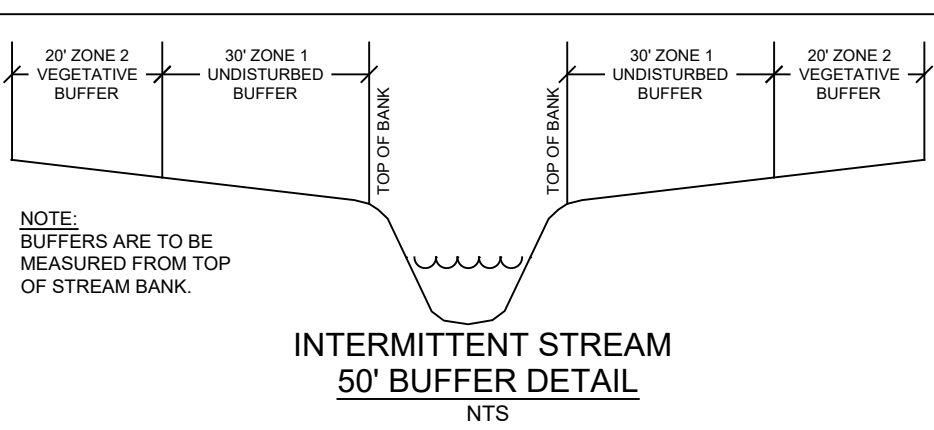
PRELIMINARY-NOT FOR CONSTRUCTION



SITE DATA:
CENTURY CARE MANAGEMENT
TOTAL AREA: 20.73 AC
DISTURBED AREA: 4.05 AC
WATERSHED DATA:
WATERSHED: WEST FORK DEEP RIVER
WATERSHED CLASSIFICATION: WS-IV (P)
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AVG. SLOPE: 24.649%

EROSION CONTROL LEGEND

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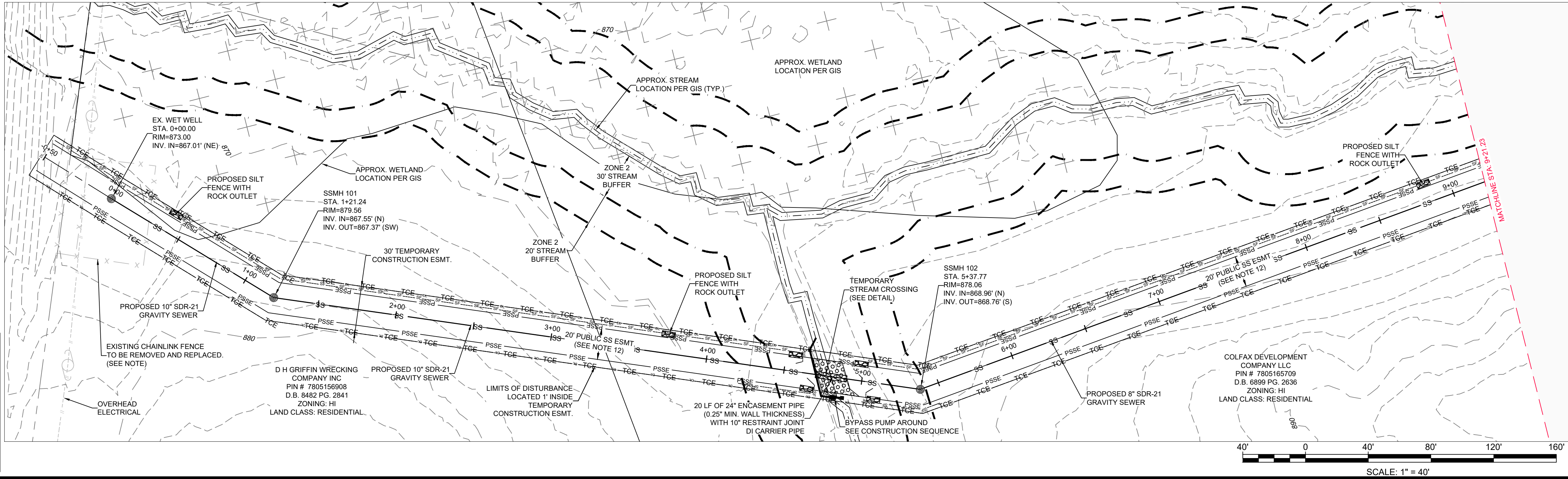
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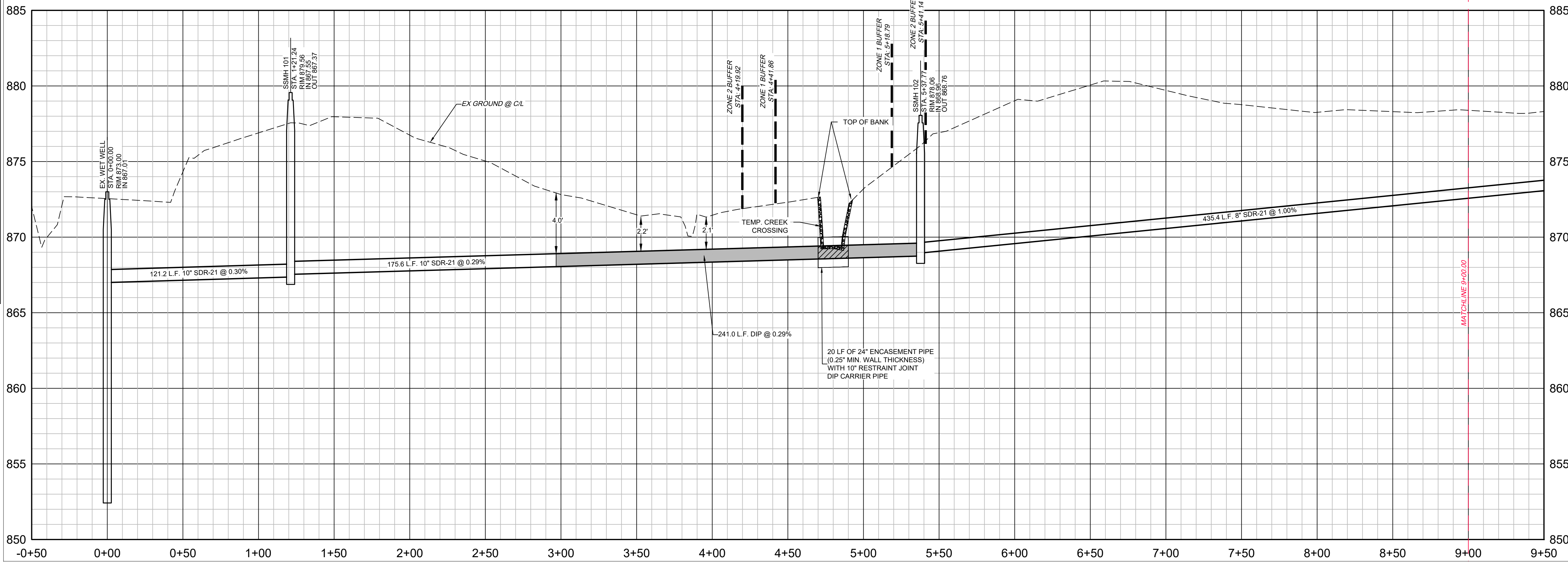
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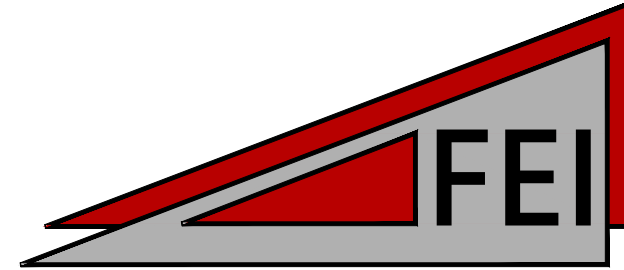


Outfall PROFILE STA -0+50.00 TO 9+50.00
HORIZ. SCALE: 1" = 40'
VERT. SCALE: 1" = 4'



OWNER INFORMATION:
CENTURY CARE MANAGEMENT
130 EDINBURGH S DR # 208
CARY, NC 27511

PROJECT LOCATION:
CITY: GREENSBORO
COUNTY: GUILFORD
STATE: NORTH CAROLINA



Civil Engineers and Land Surveyors
4196 Mendenhall Oaks Pkwy
High Point, NC 27265
www.feiconsulting.com
(336) 852-9797
License No. C-0950

REVISIONS	TYPE	CONTRACT	CONTRACTOR	AS-BUILT	AUTH. DATE	BENCH MARKS
	ROADWAY					
	SEWER					
	WATER					
	SIDEWALK					

JOB No. :	03079.002
DESIGNED:	09/22/2025 BY: ADY
CONST. SURVEY	BY:
CHECKED:	09/22/2025 BY: BCS
SCALE:	1" = 40'

CITY OF GREENSBORO ENGINEERING DIVISION
HEARTLAND LIVING &
REHABILITATION
Utility Plan & Profile STA 0+00 - 9+00

K

SHEET NO.

5 OF 12

CONTRACT SHEET

OF

SENSITIVE INFORMATION

Not to be copied or distributed
without the express written
permission of the
City of Greensboro.



City of Greensboro Undergound
Locates Information/Requests

COG Water Resources Dept. --- 373-2033
GDOT Traffic Signal ----- 373-2606
COG/Guilford Co. Telecom --- 373-2084
COG Water Supply ----- 373-5855
GDOT Storm Water ----- 373-2569

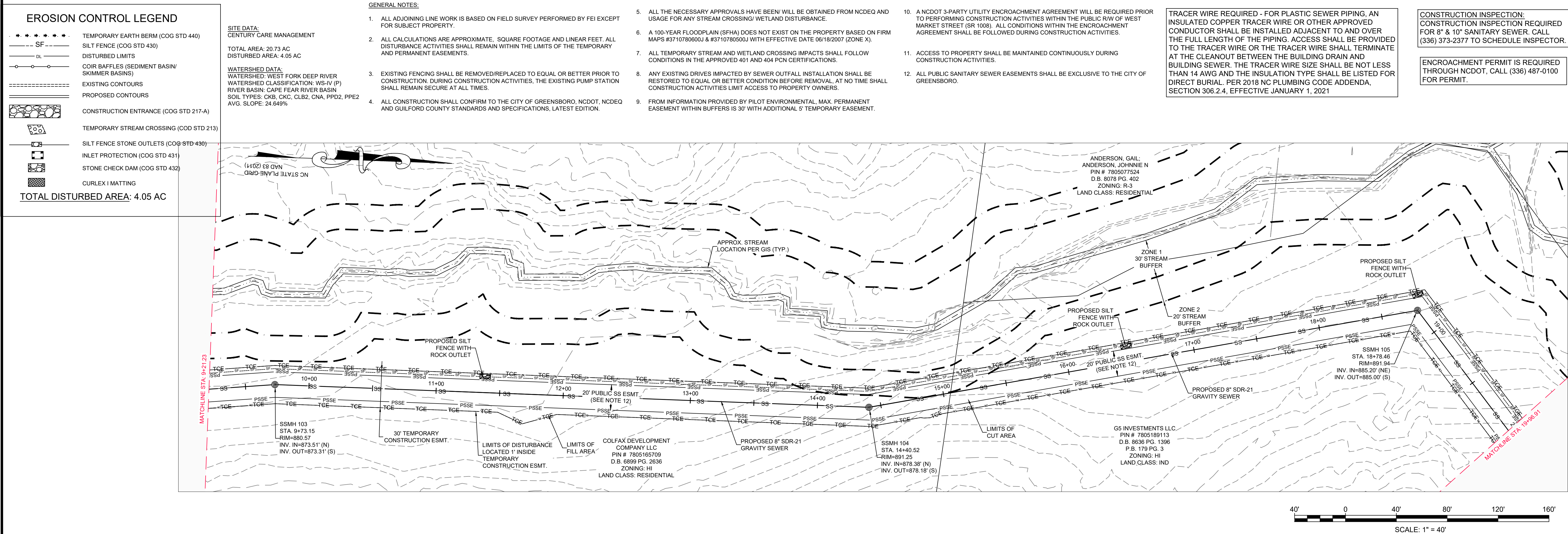
NPDES
General Permit
Does Not Apply

Disturbed Area:
4.05 AC ACRES

GIS DISCLAIMER

Objects on this map shown with a dotted
linestyle were not surveyed, they were
compiled by photogrammetric methods,
available on the Geographic Information
System (GIS) software used by the
City of Greensboro.





CONTRACT SHEET
OF

SENSITIVE INFORMATION
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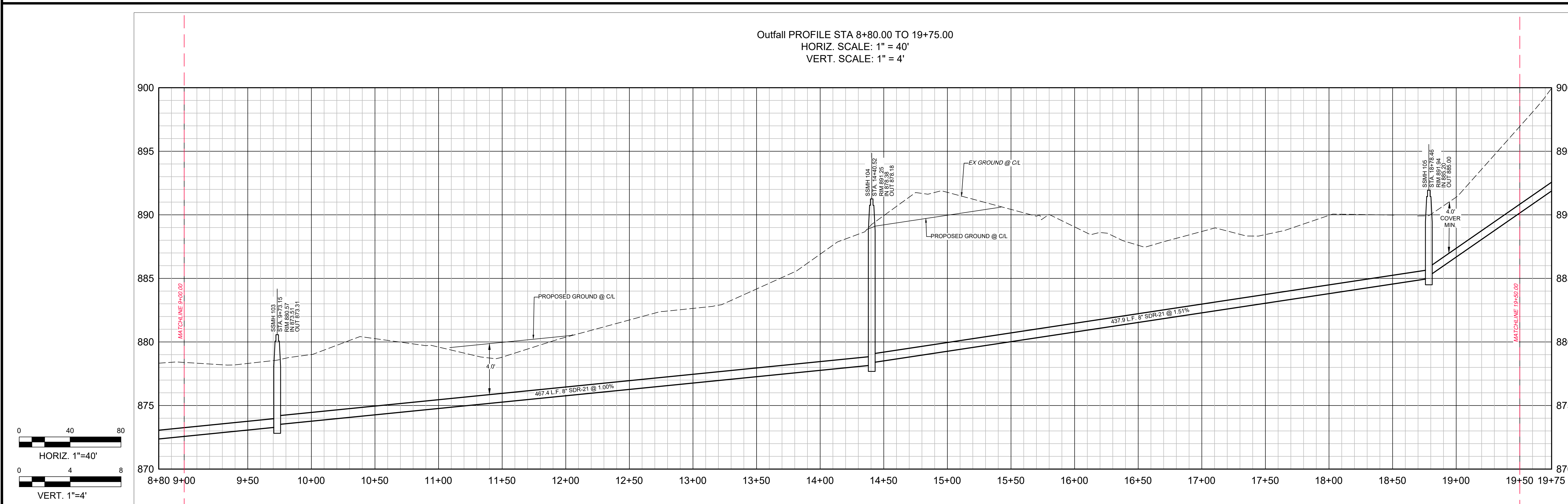
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GDOT Traffic Signal --- 373-2606
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NPDES General Permit Does Not Apply

Disturbed Area: 4.05 AC ACRES

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OWNER INFORMATION:
CENTURY CARE MANAGEMENT
130 EDINBURGH S DR # 208
CARY, NC 27511

PROJECT LOCATION:
CITY: GREENSBORO
COUNTY: GUILFORD
STATE: NORTH CAROLINA

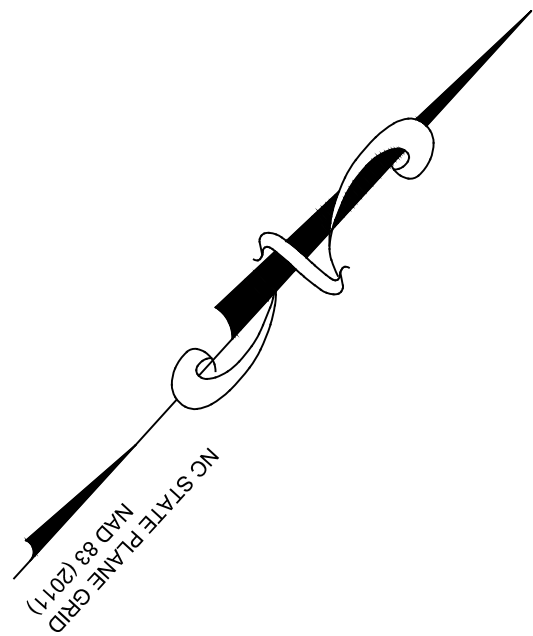
Civil Engineers and Land Surveyors
4196 Mendenhall Oaks Pkwy
High Point, NC 27265
www.feiconsulting.com
(336) 852-9797
License No. C-0950

REVISIONS	TYPE	CONTRACT	CONTRACTOR	AS-BUILT	AUTH. DATE	BENCH MARKS
	ROADWAY					
	SEWER					
	WATER					
	SIDEWALK					

JOB No.: 03079.002
DESIGNED: 09/22/2025 BY: ADY
CONST. SURVEY BY:
CHECKED: 09/22/2025 BY: BCS
SCALE: 1" = 40'

CITY OF GREENSBORO ENGINEERING DIVISION
HEARTLAND LIVING & REHABILITATION
Utility Plan & Profile STA 9+00 - 19+75.00

K
SHEET NO.
6 OF 12



SITE DATA:
CENTURY CARE MANAGEMENT
TOTAL AREA: 20.73 AC
DISTURBED AREA: 4.05 AC
WATERSHED DATA:
WATERSHED: WEST FORK DEEP RIVER
WATERSHED CLASSIFICATION: WS/IV (P)
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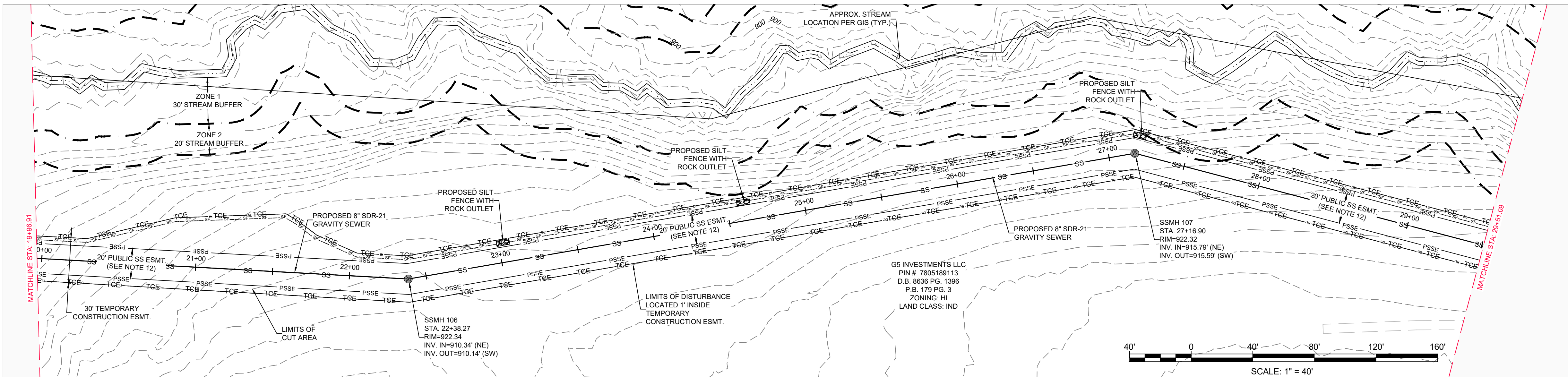
CONSTRUCTION INSPECTION:
CONSTRUCTION INSPECTION REQUIRED
FOR 8" & 10" SANITARY SEWER. CALL
(336) 373-2377 TO SCHEDULE INSPECTOR.

ENCROACHMENT PERMIT IS REQUIRED
THROUGH NCDOT, CALL (336) 487-0100
FOR PERMIT.

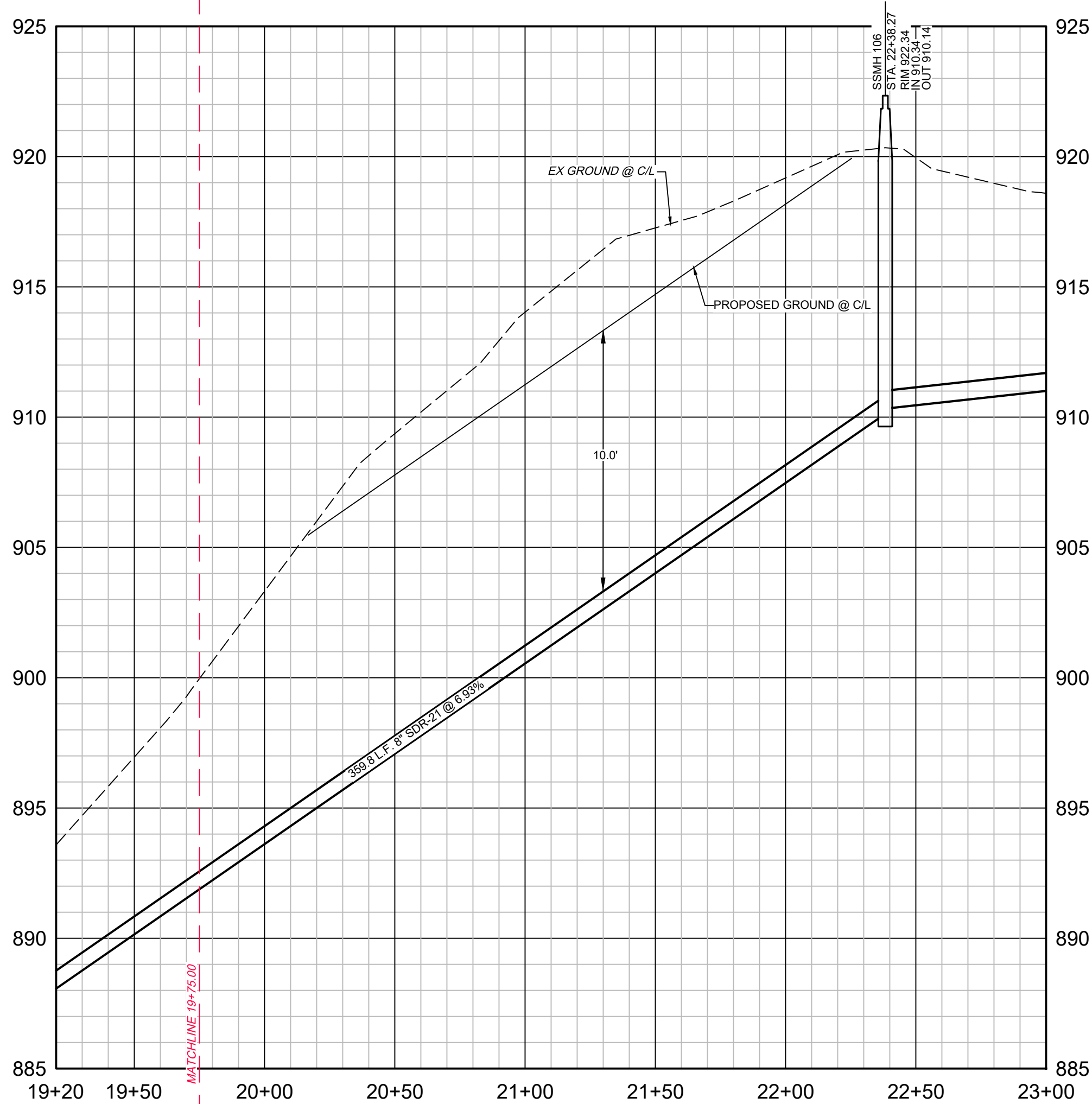
EROSION CONTROL LEGEND

- TEMPORARY EARTH BERM (COG STD 440)
- SILT FENCE (COG STD 430)
- DISTURBED LIMITS
- COIR Baffles (SEDIMENT BASIN/ SKIMMER BASINS)
- EXISTING CONTOURS
- PROPOSED CONTOURS
- CONSTRUCTION ENTRANCE (COG STD 217-A)
- TEMPORARY STREAM CROSSING (COD STD 213)
- SILT FENCE STONE OUTLETS (COG STD 430)
- INLET PROTECTION (COG STD 431)
- STONE CHECK DAM (COG STD 432)
- CURLEX I MATTING

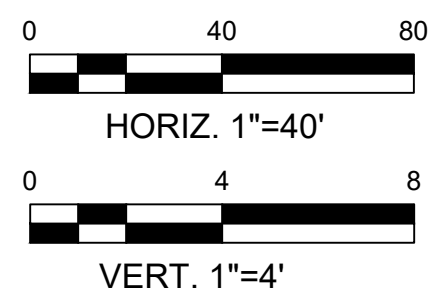
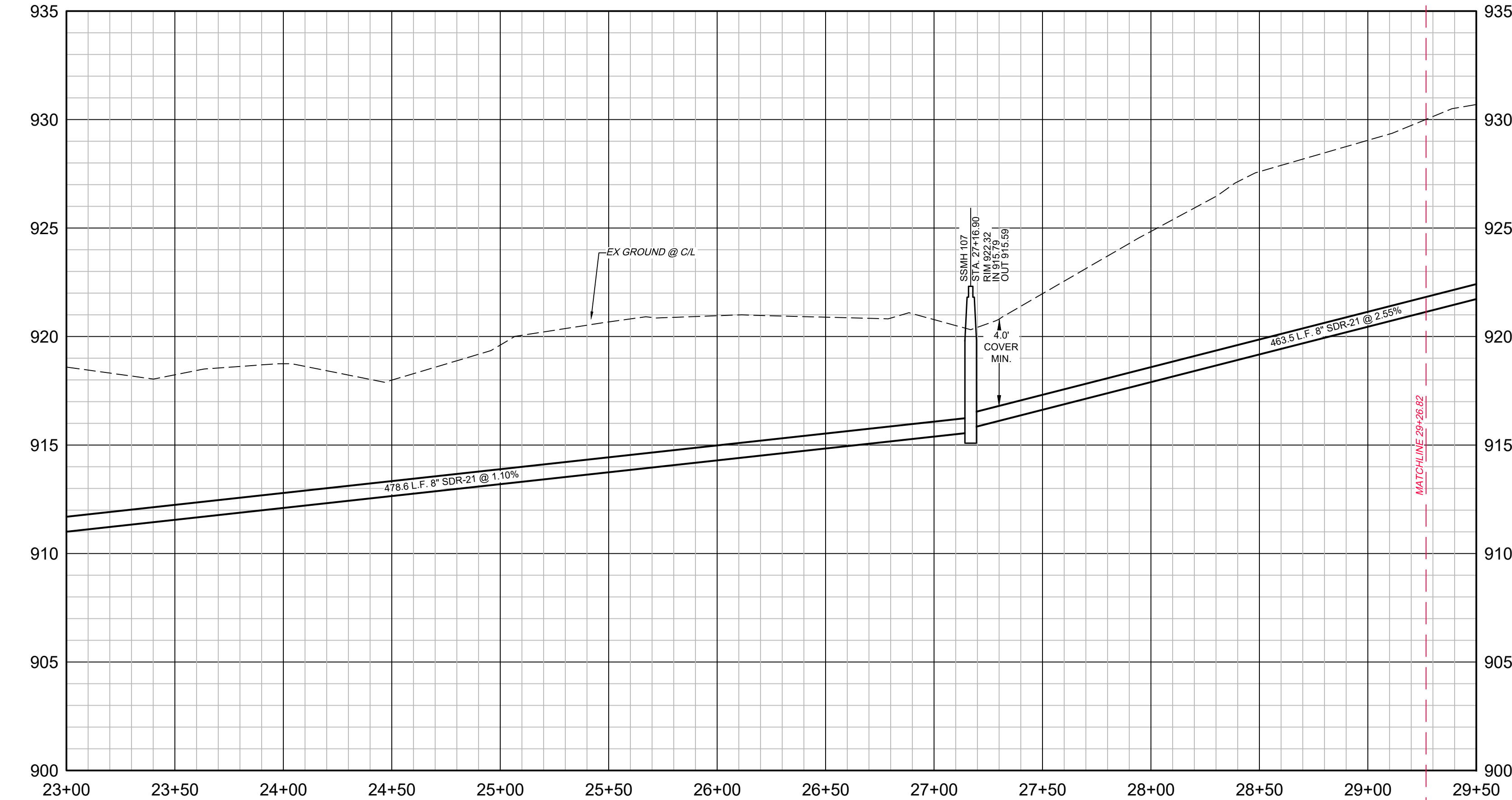
TOTAL DISTURBED AREA: 4.05 AC



Outfall PROFILE STA 19+20.00 TO 23+00.00
HORIZ. SCALE: 1" = 40'
VERT. SCALE: 1" = 4'

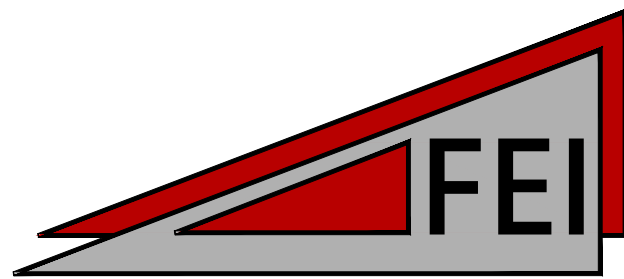


Outfall PROFILE STA 23+00.00 TO 29+50.00
HORIZ. SCALE: 1" = 40'
VERT. SCALE: 1" = 4'



OWNER INFORMATION:
CENTURY CARE MANAGEMENT
130 EDINBURGH S DR # 208
CARY, NC 27511

PROJECT LOCATION:
CITY: GREENSBORO
COUNTY: GUILFORD
STATE: NORTH CAROLINA



Civil Engineers and Land Surveyors
4196 Mendenhall Oaks Pkwy
High Point, NC 27265
www.feiconsulting.com
(336) 852-9797
License No. C-0950

REVISIONS	TYPE	CONTRACT	CONTRACTOR	AS-BUILT	AUTH. DATE	BENCH MARKS
	ROADWAY					
	SEWER					
	WATER					
	SIDEWALK					

JOB No.:	03079.002
DESIGNED:	09/22/2025 BY: ADY
CONST. SURVEY	BY:
CHECKED:	09/22/2025 BY: BCS
SCALE:	1" = 40'

CITY OF GREENSBORO ENGINEERING DIVISION
HEARTLAND LIVING &
REHABILITATION
Utility Plan & Profile STA 19+75.00 - 29+26.82

K

SHEET NO.

7 OF 12

CONTRACT SHEET
OF

SENSITIVE INFORMATION

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permission of the
City of Greensboro.



City of Greensboro Underground
Locates Information/Requests

COG Water Resources Dept. --- 373-2033
GDOT Traffic Signal --- 373-2606
COG/Guilford Co. Telecom --- 373-2084
COG Water Supply --- 373-5855
Tanks Treatment Plants
GDOT Storm Water --- 373-2569

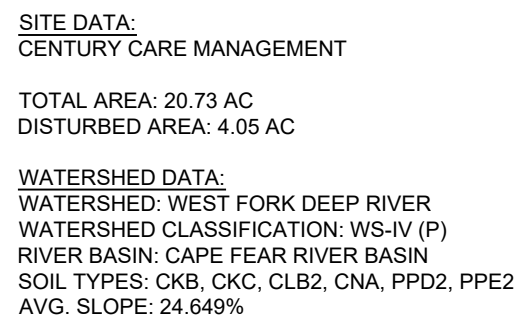
NPDES
General Permit
Does Not Apply

Disturbed Area:
4.05 AC ACRES

GIS DISCLAIMER

Objects on this map shown with a dotted
linestyle were not surveyed, they were
compiled by photogrammetric methods,
available on the Geographic Information
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3. EXISTING FENCING SHALL BE REMOVED/REPLACED TO EQUAL OR BETTER PRIOR TO CONSTRUCTION OF ALL CONSTRUCTION ACTIVITIES. THE EXISTING PUMP STATION SHALL REMAIN SECURE AT ALL TIMES.
4. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF GREENSBORO, NCDOT, NCDOE AND GUILFORD COUNTY STANDARDS AND SPECIFICATIONS, LATEST EDITION.

- | | |
|---|--|
| <p>4. ALL THE NECESSARY APPROVALS HAVE BEEN WILL BE OBTAINED FROM NCDCE AND USAGE FOR ANY STREAM CROSSING/ WETLAND DISTURBANCE.</p> | <p>10. A NCDOT 3-PARTY UTILITY ENCROACHMENT AGREEMENT WILL BE REQUIRED PRIOR TO PERFORMING CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC ROW OF WEST MARKET STREET (SR 1008). ALL CONDITIONS WITHIN THE ENCROACHMENT AGREEMENT SHALL BE FOLLOWED DURING CONSTRUCTION ACTIVITIES.</p> |
| <p>6. A 100-YEAR FLOODPLAIN (SFA) DOES NOT EXIST ON THE PROPERTY BASED ON FIRM MAPS #31710760060J & #3171076050J WITH EFFECTIVE DATE 06/18/2007 (ZONE X).</p> | |
| <p>7. ALL TEMPORARY STREAM AND WETLAND CROSSING IMPACTS SHALL FOLLOW CONDITIONS IN THE APPROVED 401 AND 404 PCN CERTIFICATIONS.</p> | <p>11. ACCESS TO PROPERTY SHALL BE MAINTAINED CONTINUOUSLY DURING CONSTRUCTION ACTIVITIES.</p> |
| <p>8. ANY EXISTING DRIVES IMPACTED BY SEWER OUTFALL INSTALLATION SHALL BE RESTORED TO EQUAL OR BETTER CONDITION BEFORE REMOVAL. AT NO TIME SHALL CONSTRUCTION ACTIVITIES LIMIT ACCESS TO PROPERTY OWNERS.</p> | <p>12. ALL PUBLIC SANITARY SEWER EASEMENTS SHALL BE EXCLUSIVE TO THE CITY OF GREENSBORO.</p> |
| <p>9. FROM INFORMATION PROVIDED BY PILOT ENVIRONMENTAL, MAX. PERMANENT EASEMENT WITHIN BUFFERS IS 30' WITH ADDITIONAL 5' TEMPORARY EASEMENT.</p> | |

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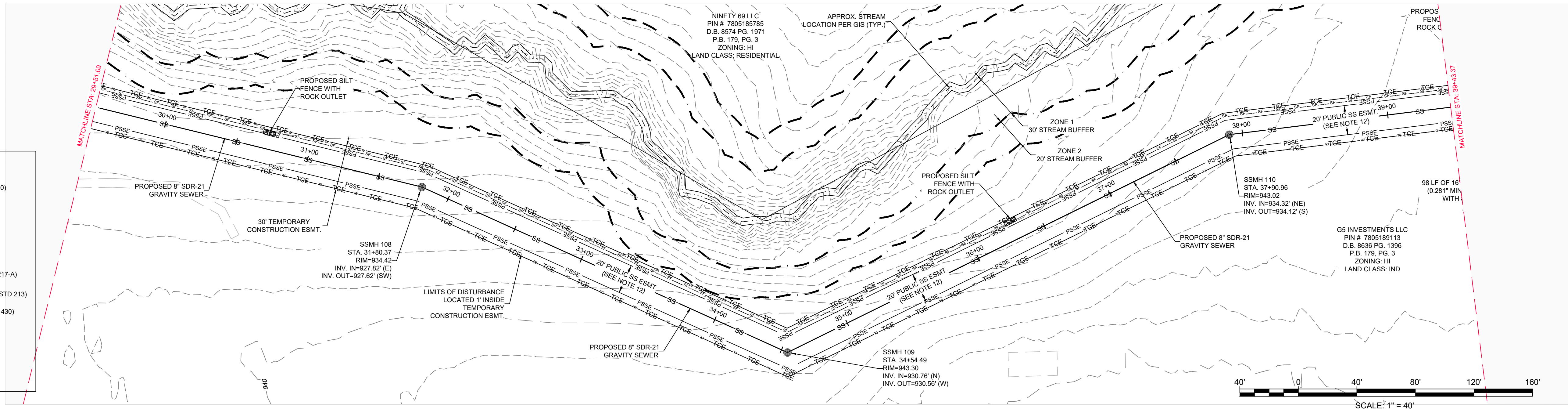
COG Water Resources Dept. -- 373-2033
 GDOT Traffic Signal ----- 373-2606
 COG/Guilford Co. Telecom --- 373-2084
 COG Water Supply ----- 373-5855
 Tanks Treatment Plants
 GDOT Storm Water ----- 373-2569

NPDES
General Permit
Does Not Apply

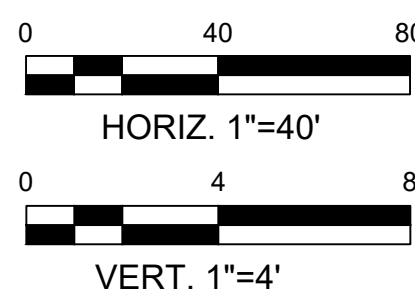
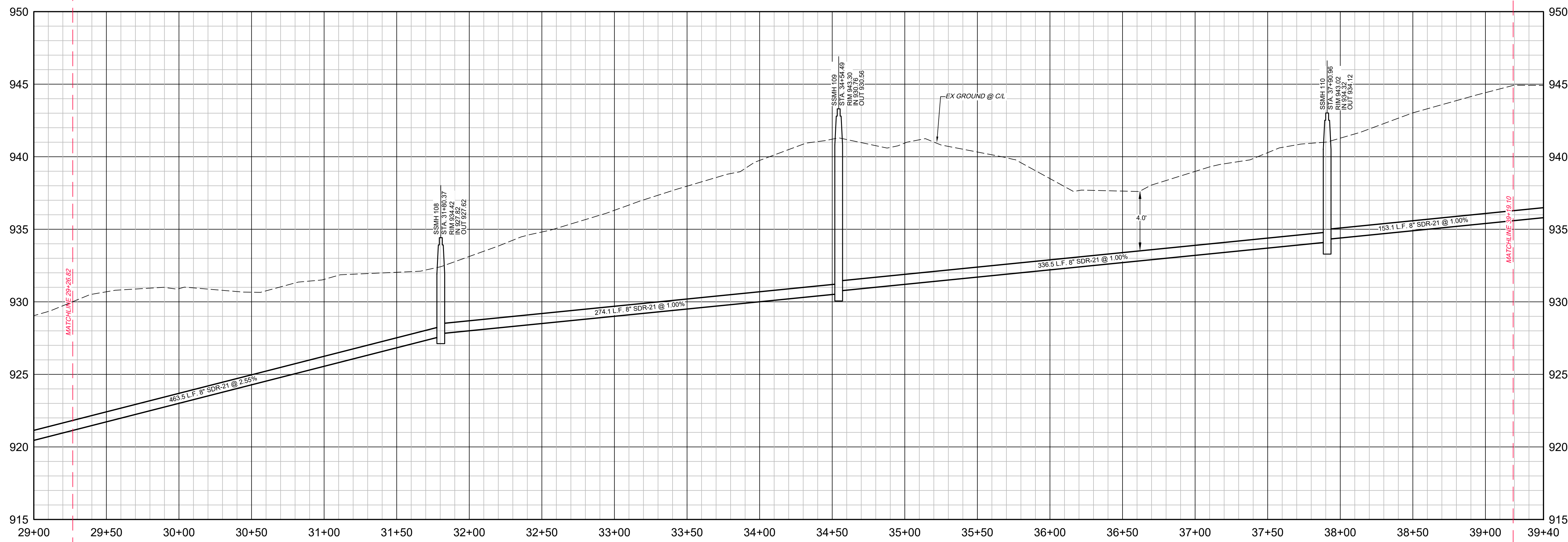
Disturbed Area:
4.05 AC ACRES

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	TEMPORARY EARTH BERM (COG STD 440)
	TEMP. FENCE (COG STD 430)
	DISTURBED LIMITS
	COIR BAFFLES (SEDIMENT BASIN/ SKIMMER BASINS)
	EXISTING CONTOURS
	PROPOSED CONTOURS
	CONSTRUCTION ENTRANCE (COG STD 217-A)
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	INLET PROTECTION (COG STD 431)
	STONE CHECK DAM (COG STD 432)
	CURLEX I MATTING

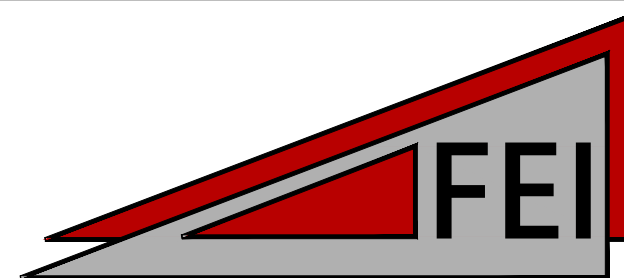


Outfall PROFILE STA 29+00.00 TO 39+40.00
HORIZ. SCALE: 1" = 40'
VERT. SCALE: 1" = 4'



OWNER INFORMATION:
CENTURY CARE MANAGEMENT
130 EDINBURGH S DR # 208
CARY, NC 27511

PROJECT LOCATION:
CITY: GREENSBORO
COUNTY: GUILFORD
STATE: NORTH CAROLINA



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(336) 852-9797
License No. C-0950

REVISIONS	TYPE	CONTRACT	CONTRACTOR	AS-BUILT	AUTH. DATE	BENCH MARKS	JOB No. : 03079.002
	ROADWAY		-	-		-	DESIGNED: 09/22/2025 BY: ADY
	SEWER		-	-		-	CONST. SURVEY BY:
	WATER		-	-		-	CHECKED: 09/22/2025 BY: BCS
	SIDEWALK		-	-		-	SCALE: 1" = 40'

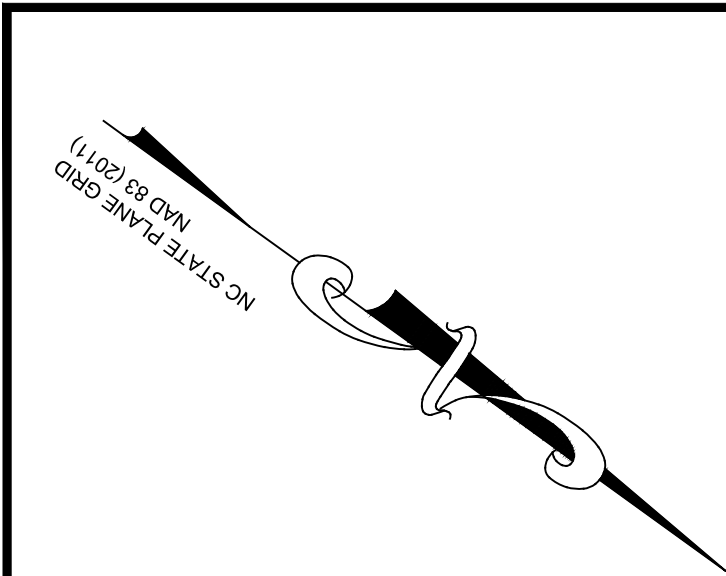
JOB No. :	03079.002
DESIGNED:	09/22/2025 B
CONST. SURVEY	B
CHECKED:	09/22/2025 B
SCALE:	1" = 40'

CITY OF GREENSBORO ENGINEERING DIVISION
HEARTLAND LIVING &
REHABILITATION
Utility Plan & Profile STA 29+26.82 - 39+19.10

K

SHEET NO.

8 OF 12



SITE DATA:
CENTURY CARE MANAGEMENT

TOTAL AREA: 20.73 AC
DISTURBED AREA: 4.05 AC

WATERSHED DATA:
WATERSHED: WEST FORK DEEP RIVER
WATERSHED CLASSIFICATION: WS-IV (P)
RIVER BASIN: CAPE FEAR RIVER BASIN
SOIL TYPES: C8K, C8C, GLB2, CNA, PPD2, PPE2
AVG. SLOPE: 24.649%

GENERAL NOTES:

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- A 100-YEAR FLOODPLAIN (SFHA) DOES NOT EXIST ON THE PROPERTY BASED ON FIRM MAPS #3710780900J & #3710780900J WITH EFFECTIVE DATE 06/18/2007 (ZONE X).
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GDOT Traffic Signal --- 373-2606
COG/Guilford Co. Telecom --- 373-2084
COG Water Supply --- 373-5855
GDOT Storm Water --- 373-2569

NPDES
General Permit
Does Not Apply

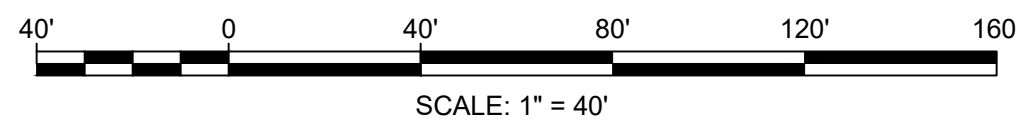
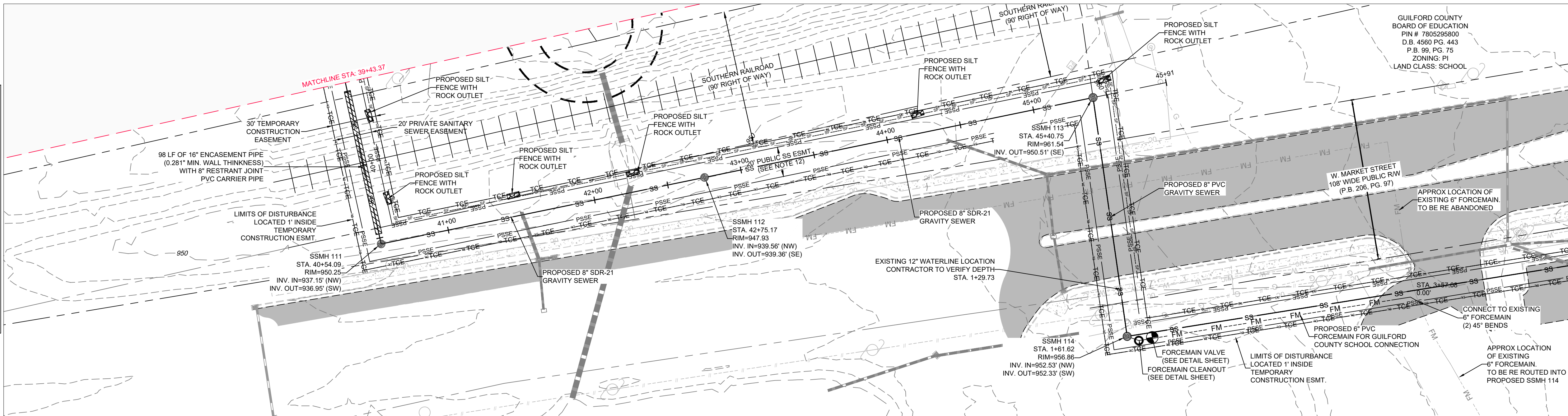
Disturbed Area:
4.05 AC ACRES

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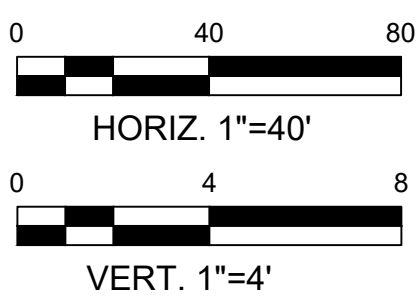
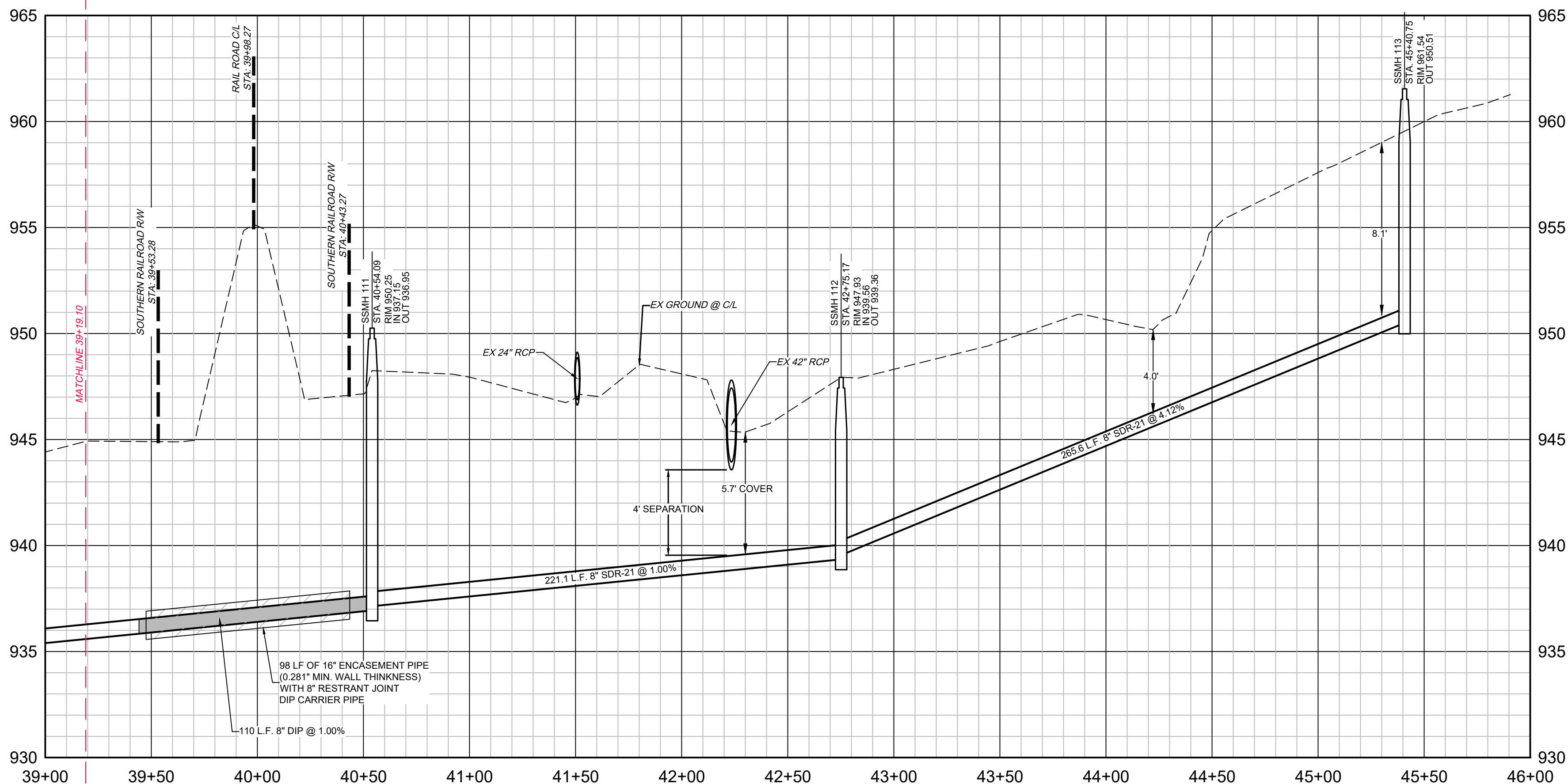
EROSION CONTROL LEGEND

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- SILT FENCE (COG STD 430)
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- INLET PROTECTION (COG STD 431)
- STONE CHECK DAM (COG STD 432)
- CURLEX I MATTING

TOTAL DISTURBED AREA: 4.05 AC

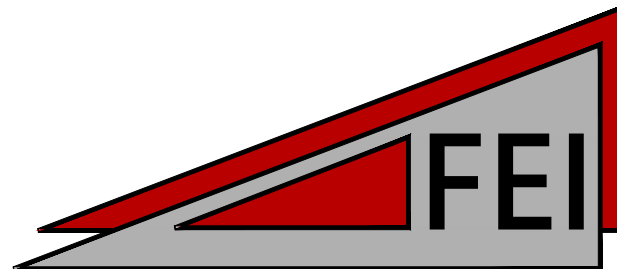


Outfall PROFILE STA 39+00.00 TO 46+00.00
HORIZ. SCALE: 1" = 40'
VERT. SCALE: 1" = 4'



OWNER INFORMATION:
CENTURY CARE MANAGEMENT
130 EDINBURGH S DR # 208
CARY, NC 27511

PROJECT LOCATION:
CITY: GREENSBORO
COUNTY: GUILFORD
STATE: NORTH CAROLINA



Civil Engineers and Land Surveyors
4196 Mendenhall Oaks Pkwy
High Point, NC 27265
www.feiconsulting.com
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License No. C-0950

REVISIONS	TYPE	CONTRACT	CONTRACTOR	AS-BUILT	AUTH. DATE	BENCH MARKS
	ROADWAY					
	SEWER					
	WATER					
	SIDEWALK					

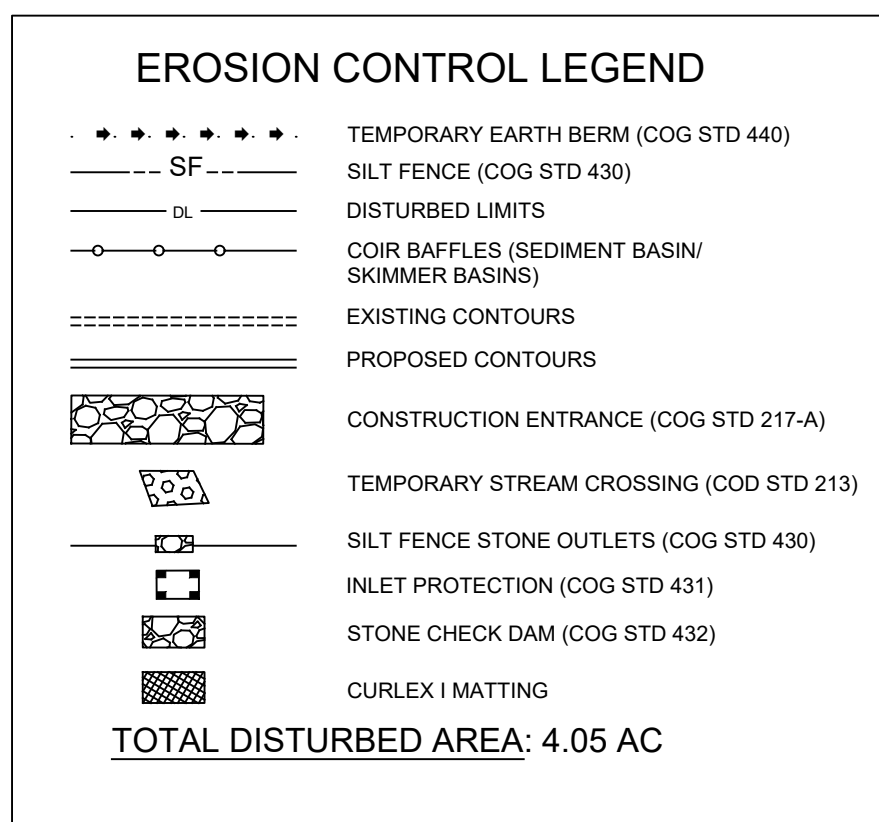
JOB No. : 03079.002	DESIGNED: 09/22/2025 BY: ADY
CONST. SURVEY BY:	CHECKED: 09/22/2025 BY: BCS
SCALE: 1" = 40'	

CITY OF GREENSBORO ENGINEERING DIVISION
HEARTLAND LIVING &
REHABILITATION
Utility Plan & Profile STA 39+19.10 - 45+16.48

K

SHEET NO.

9 OF 12



1. ALL ADJOINING LINE WORK IS BASED ON FIELD SURVEY PERFORMED BY FEI EXCEPT FOR SUBJECT PROPERTY.
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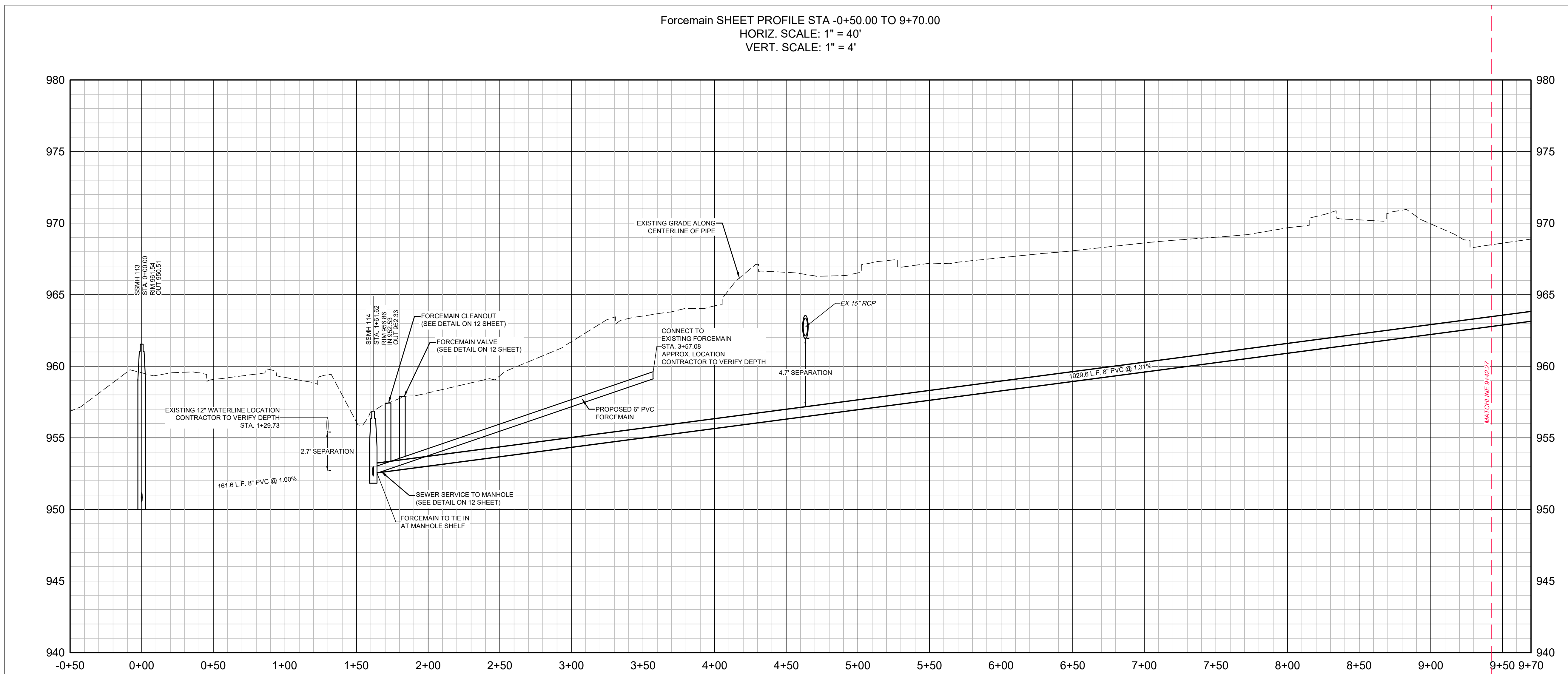
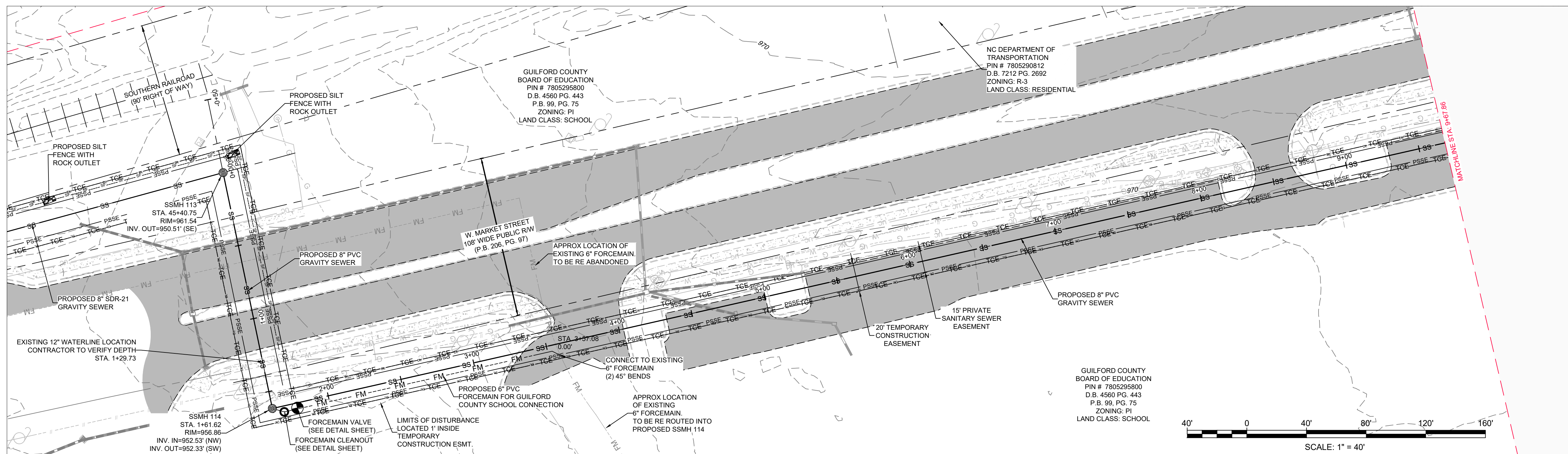
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6. A 100-YEAR FLOODPLAIN (#374) DOES NOT EXIST ON THE PROPERTY BASED ON FIRM MAPS (#3710780600) AND (#3710780500) WITH EFFECTIVE DATE 08/18/2007 (ZONE X).
7. ALL TEMPORARY STREAM AND WETLAND CROSSING IMPACTS SHALL FOLLOW CONDITIONS IN THE APPROVED 401 AND 404 PCN CERTIFICATIONS.
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HEARTLAND LIVING & REHABILITATION
UTILITY REPAIR & REBUILD STATION 1000 S+42.27

PROJECT LOCATION	DEVELOPER INFORMATION:
TOWNSHIP: COLFAX	CENTURY CARE MANAGEMENT
COUNTY: GUILFORD	130 EDINBURGH S DR # 208
STATE: NORTH CAROLINA	CARY, NC 27511

NO	DATE	REVISION NOTE
1	X-X-X	ISSUED FOR REVIEW.
DRAWN BY: FEI		
CHECKED BY: FEI		
DATE: 09/22/2025		
PROJECT NO.: 03079.00		
REF. NO.: XX		
SCALE: 1" = 40'		

SHEET
10 OF 12

PRELIMINARY-NOT FOR CONSTRUCTION

