HEARTLAND LIVING & REHABILITATION SANITARY SEWER OUTFALL PLAN AND PROFILE

COLFAX * GUILFORD COUNTY NORTH CAROLINA

DATE: 09/22/2025

LAT: 36.097534 LONG: -80.011763

DEVELOPER INFORMATION:
CENTURY CARE MANAGEMENT
130 EDINBURGH S DR # 208
CARY, NC 27511
(919) 467-8686

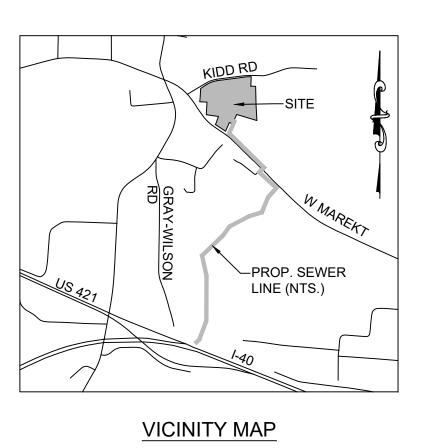
ENGINEERING CONTACT
BRENT SIEVERS, PE
4196 MENDENHALL OAKS PKWY
HIGH POINT, NC 27265
(336) 544-6432
BSIEVERS@FEICONSULTING.COM

CONSTRUCTION INSPECTION IS REQUIRED FOR 24" AND 18" SANITARY SEWER INSTALLATION, CALL (336) 373-2377 TO SCHEDULE AN INSPECTOR.

WATER: 0 L.F. X \$1.50 = \$0 SEWER: 6,058 L.F. X \$1.50 = \$9,087.00 RDWY: 0 L.F. X \$1.50 = \$

TOTAL: \$9,087.00

DATE FEES (S) RECEIVED BY CITY OF GREENSBORO





Sheet List Table					
Sheet Number	Sheet Title				
1	Cover Sheet				
2	COG Cover Sheet				
3	Abbreviations & Legend				
4	Overall Outfall Site Plan				
5	Utility Plan & Profile STA 0+00 - 9+00				
6	Utility Plan & Profile STA 9+00 - 19+75.00				
7	Utility Plan & Profile STA 19+75.00 - 29+26.82				
8	Utility Plan & Profile STA 29+26.82 - 39+19.10				
9	Utility Plan & Profile STA 39+19.10 - 45+16.48				
10	Utility Plan & Profile STA 0+00 - 9+42.27				
11	Utility Plan & Profile STA 9+42.27 - 15+32.78				
12	Details				

TRC COVERSHEET (Revised July 1, 2022)

City of Greensboro

Mailing Address: P.O. Box 3136, Greensboro NC 27402-3136 Office Address: 300 West Washington Street, Greensboro NC 27402 Questions? Please contact Jason Earliwine at jason.earliwine@greensboro-nc.gov or 336-373-4576

PLAN TY	PE:	
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REVIEW FEE:

\$1,400 plus \$25 per dwelling unit

unit listed below applied to any increase

\$1,400 plus \$20 per 1,000 sq. ft. gross floor area

\$320 plus the per lot, square footage, or dwelling

Site Plans

Multifamily Developments Single Family Subdivisions

Minor Revisions

Resubmittal of Plan for TRC Review (Per Review for 4th and Subsequent Reviews): \$430 Wireless Telecommunication Facilities/New Towers: \$1,400 Wireless Telecommunication Facilities/Co-locations: \$160

\$1,400 plus \$40 per lot

Site Specific Development Zoning Vested Right

Applicable review fee as listed above plus \$1,140 for Plan Approval to obtain a sites of less than 1 acre, \$1,335 for sites of 1 to 4.9 Acres, or \$1,525 for sites of 5 or more acres.

Landscape/Tree Conservation fees are payable prior to scheduling for TRC action. Landscape Plan if submitted separately: \$50

Tree/Land Disturbance Permit: \$50 Tree Protection/Landscaping Inspection or Reinspection: \$85 each

Please go to https://gsoapps.greensboro-nc.gov/SOALite/V5.03/WebClient/index.html? applicationName=PlanReview&authMode=c&AuthMode=c to submit a plan for review.

Review turn—around target is 10 working days. Please use Design Review Checklist to ensure your plan is complete: https://www.greensboro-nc.gov/home/showpublisheddocument/7661/637291302940830000

Project Summary (Completed by Design Agent):

A. Site Street Addresses (All): 9206 W. MARKET STREI	ET & 118 KIDD ROAD				
GREENSBORO, NORTH	CAROLINA 27235				
B. Project Name: Heartland Living & Rehab	ilitation				
C. Project Description: SANITARY SEWER OUT	FALL				
D. Type(s) of Plan: Site Plan X Group Developmen	nt Plan TRC Lite:				
Preliminary SubdivisionSite Specific Plan(Zoning Vested Right)					
E. Owner/Applicant Century Care Manageme	nt				
Email	Phone				
F. Design AgentFEI					
Email BSIEVERS@FEICONSULTING.COM	Phone <u>336-669-0525</u>				
G. Also Report Comments to					
Email					
H. Tract Acres 20.73 AC . Zoning District: CD-O J.Zoning Overlay:					
K. Watershed: WEST FORK L. Current Use: N/A					
M. Proposed Use: N/A					
N. Parking Required: N/A Proposed:					
O. # of Lots Now: N/A Proposed:					
P. Multifamily Development: # of Units Total: N/A					
By type: ApartmentsTownhomes					
Q. Open Space (Res'l Projects) Required: N/A	Proposed: N/A				
R. Non-Res'l Gross Floor Area (GFA), by sf:					
Existing N/A — To Be I	Demolished				
+Proposed = Total Re	esulting GFA				
S. Built-Upon Area (BUA), by sf/ac and % of lot:					
Existing N/A — To Be	Demolished				
+Proposed = Total					
T. Will building(s) be sprinked? YesU. Building occupancy code under the Building Code: N/A	No <u>N/A</u>				

Stormwater Control/Improvements(s): Maximum Amount of BUA Allowed Per Stormwater Control Design: N/A Distance to Nearest Floodway: 652 LF On-site soil types(s): CKB, CKC, CLB2, CNA, PPD2, PPE2 Hydrology groups(s): A,B,D Amount of site to be disturbed: 4.05 AC

Stormwater Management/Watershed Information:

Check as Appropriate:

LANDSCAPE. TREE CONSERVATION APPROVAL AND INSPECTION:

To request an inspection or a pre-construction meeting contact the City Arborist at 336-373-2150

A LANDSCAPE PLAN (which depicts the plant types and locations) must be submitted to the Planning Department for review and approval WITHIN 90 DAYS OF RECEIVING A BUILDING PERMIT. The Landscape Plan must be approved before installation of plant material.

The required LANDSCAPE PLANT MATERIAL must be installed and inspected PRIOR to receiving a Certificate of Occupancy.

The required TREE PROTECTION FENCING must be installed and inspected PRIOR to land disturbance.

The required TREE CONSERVATION & REFORESTATION AREAS(s) must be inspected PRIOR to receiving a Certificate of Occupancy.

WATERSHED APPROVAL AND INSPECTION

(Questions? Contact Water Resources Engineering at 336-373-2055)

A FINAL PLAT dedicating the DMUE and access easements must be recorded PRIOR to receiving a Certificate of Occupancy.

Construction of the WATER QUALITY DEVICE (POND) must be complete and the "Engineer's Certification of Completion" sent to the Water Resources Department PRIOR to receiving a Certificate of Occupancy.

Any sediment that enters the Pond during the construction must be removed PRIOR to issuance of a Certification of Occupancy.

FLOODPLAIN APPROVAL

(Questions? Contact Water Resources Engineering at 336-373-2055)

Elevation Certification Required

Floodplain Development Permit Required

AIRPORT AIR OPERATION AREA ALTERNATIVE STORMWATER CONTROL:

(Questions? Contact Water Resources Engineering at 336-373-2055)

This development is within 5 statute miles of Piedmont Triad International Airport air operation area. For such projects, according to Session Law 2012—200, the NCDEQ North Carolina Best Management Practice Manual provides acceptable alternative Stormwater control measures other than wet ponds or those that promote standing water. The design engineer has reviewed these alternatives.

SOIL EROSION CONTROL:

(Questions? Contact Erosion Control Officer at 336-373-2030) Watershed Pond Construction or Surety/Improvement Guarantee Required

WATER RESOURCES CONSTRUCTION APPROVAL:

(Questions? Contact Water Resources Engineering at 336-373-2055)

*Permit application fees required before construction plans are released.

Water System*

State Water Permit Required

Outside City — Utility Agreement and Annexation Petition Required

Sanitary Sewer System*

State Water Sewer System Permit Required

Outside City — Utility Agreement and Annexation Petition Required

ENGINEERING CONSTRUCTION APPROVAL:

(Questions? Contact Development Services/Engineering at 336-373-2052)

*Engineering Inspection Fees required before construction plans are released.

Utility Construction Plan Approval Required*

Pavement Cut Permit May be Required*

Roadway Construction Plans Required*

Storm Sewer System — Permit Required to tie into Storm Sewer System

Driveway Culvert Inspection Required

TRANSPORTATION APPROVAL: (Questions? Contact GDOT at 336-373-GDOT)

Driveway permit issued? _____ Number ____

*Do Not Issue Building Permit until any required Driveway Permit has been issued.

City of Greensboro Driveway Permit Required

N.C. Department of Transportation Driveway Permit Required

SUBDIVISION APPROVAL:

A Final Plat Must Be Recorded Prior to TRC Approval of this Submittal or Prior to Issuance of a Building Permit (PB: _____ Pg: ____)

City of Greensboro Water Resources Department COLLECTION SYSTEM EXTENSION PERMIT APPROVAL

Private

Privately Owned

Portions Public and Privately Owned
Per Article 21 of Chapter 143 of the North Carolina General Statues, as Amended, and Other Laws, Rules and Regulations, Permission is hereby granted by the City of Greensboro, a delegated permitting authority approved by the North Carolina Environmental Management Commission, for the construction and operation of the collection system depicted on these plans and throughout the permitting process.
City of Greensboro and its staff are not responsible for errors in

City Owned

Project Origin:

Type of Project:

designs, calculations, drawings or statements, or finding and correcting any errors or deficiencies submitted by applicants or their consultants, and disclaim any liability for errors, in accordance with North Carolina General Statute 130A-26.2. Any person who knowingly makes any false statement, representation, or certification in any application or design documents shall be guilty of a Class 2 misdemeanor, which may include a fine not to exceed \$10,000 per violation.

Permittee shall be responsible for adherence to all conditions of the City of Greensboro Water Resources Department as Checked.

Wastewater	Collection	System	Extension	Master	Permit	(Public))

Individual Wastewater Collection System Extension Permit (Private)

Any significant changes (size, type, connections, length, alignment, etc) to that approved on the these plans or permitting documents shall be reviewed and approved by the City of Greensboro prior to Construction.

pproved by:	;City of Greensboro
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COG	Permit	#	WRCS00:	<i>F</i>	Approval	Date:	
			_				

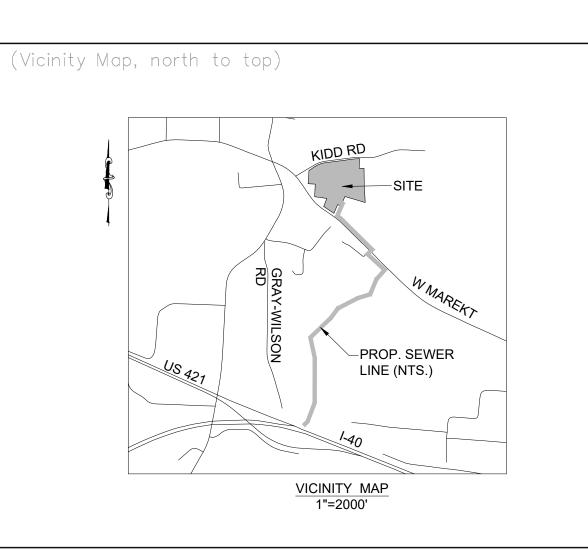
Completion of this Statement is required with submittal of Engineering Construction Drawings FINANCIAL RESPONSIBILITY ACKNOWLEDGMENT (Engineering Construction)

CENTURY CARE MANAGEMENT

is to provide a one-year warranty to guarantee the public improvement from failure due to faulty workmanship or materials. Once the project is complete, this individual or corporation will be required to sign a notarized agreement. Upon completion and return of this agreement, they will receive a final acceptance letter and the year warranty will begin. The City of Greensboro will not release bonds or accept public infrastructure for maintenance without a final inspection.

Signature o	f Financial Responsibility (Individual or Corporation)					
Address:	130 EDINBURGH S DR # 208 CARY, NC 27511					
Telephone:	(919) 467-8686					

Revision to Plan in Process:		
Revision Summary	Revision Date	Revised by
Revision to Approved Plan	(Tracking #)	
Revision Summary	Revision Date	Approved by/Date



(Construction Plans Review Stamps)

This Watershed Plan and or Site Plan, Preliminary Subdivision, Group Development was APPROVED by the Technical Review Committee on ___

TRC approval represents the maximum possible development of the site. Other approvals (including Construction Plans Review) could reduce the amount of development possible on this site.

Conformance with this Approved Plan is your responsibility. Any change in land use, lot lines, building location, parking, drives, utility lines, landscaping, etc. must be resubmitted for review and approval **PRIOR** to such change being made.

Per Land Development Ordinance Sections 30-4-15.8 and 30-4-17.5, in general this Approval expires in 2 years. Site Plans: Approval also expires if construction or development activity is begun and then discontinued for a period greater than 180 days. Preliminary Subdivision: Approval also expires if a final plat is not recorded within 2 years, or if there is a lapse of more

than 2 years between the recordings of phases or section.

This Approval covers site design only. Separate application, review, approval and/or permits are required for signs, construction plans, building plans, final plats or anything other than site

(Clerk o	f the	: TRC)			(Date)	(Tracking	#
*Agent:	Add	Case	# Prior	to	Resubmittal		

	(Clerk of the TRC)	(Date of Approval o
		Minor Revision or

Re-approval)

SYMBOLS & LINETYPE LEGEND

ABAN	ABANDONED
AC	ACRES
AGG	AGGREGATE
ARV	AIR RELEASE VALVE
ASPH	ASPHALT
ABC	ASPHALT BASE COURSE
ВС	BACK OF CURB
BFP	BACKFLOW PREVENTER
BEG	BEGIN
BMP	BEST MANAGEMENT PRACTICES
BOL	BOLLARD
BTM	ВОТТОМ
BLDG	BUILDING
CIP	CAST IRON PIPE
CB	CATCH BASIN
CL	CENTERLINE
CBU	CLEANOUT CLUSTER BOX UNIT
COMM	COMMUNICATION
CONC	CONCRETE
CMON	CONCRETE MONUMENT
CONST	CONSTRUCTION
CMP	CORRUGATED METAL PIPE
CRK	CREEK
CY	CUBIC YARDS
C&G	CURB AND GUTTER
CI	CURB INLET
DB	DEED BOOK
DEMO	DEMOLITION
DIA	DIAMETER
DOM	DOMESTIC
DCA	DOUBLE CHECK ASSEMBLY
DE DWG	DRAINAGE EASEMENT
DWY	DRAWING DRIVEWAY
DI	DROP INLET
DIP	DUCTILE IRON PIPE
ESMT	EASEMENT
EC	EDGE OF CONCRETE
EG	EDGE OF GRAVEL
EP	EDGE OF PAVEMENT
E	ELECTRICAL
EMH	ELECTRICAL MANHOLE
EL,ELEV	ELEVATION
EX	EXISTING
FC	FACE OF CURB
FO	FIBER OPTIC
FG FFE	FINISH GRADE
FDC	FINISHED FLOOR ELEVATION
FH	FIRE DEPARTMENT CONNECTION
FES	FIRE HYDRANT FLARED END SECTION
FL	FLOW LINE
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
G	GAS
GV	GATE VALVE
GI	GRATE INLET
HVAC	HEATING, VENTILATION, AIR CONDITIONING
HDPE	HIGH DENSITY POLYETHYLENE
HYD	HYDRANT

IRRIGATION

LT	LEFT OFFSET FROM CENTERLINE
LP	LIGHT POLE
LF	LINEAR FEET
МН	MANHOLE
MAX	MAXIMUM
MBL	MAXIMUM/MINIMUM BUILDING LINE
MJ	MECHANICAL JOINT
MIN	MINIMUM
MON	MONUMENT
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
ОС	ON CENTER
OHP	OVERHEAD UTILITIES
PG	PAGE
PED	PEDESTRIAN
PB	PLAT BOOK
PVC	POLYVINYL CHLORIDE
PCC	PORTLAND CEMENT CONCRETE
PWR	POWER
PP	POWER POLE
PL	PROPERTY LINE
PROP	PROPOSED
R	RADIUS
RR	
RPZ	RAILROAD
RCP	REDUCED PRESSURE BACKFLOW
R/W	REINFORCED CONCRETE PIPE
RT	RIGHT OF WAY
SS	RIGHT OFFSET FROM CENTERLINE
SSCO	SANITARY SEWER
SSMH	SANITARY SEWER CLEANOUT
SVC	SANITARY SEWER MANHOLE
SIP	SERVICE LATERAL
S/W	SET IRON PIPE
SDE	SIDEWALK
SF	SIGHT DISTANCE EASEMENT
STD	SQUARE FEET
STA	STANDARD
SD	STATION
STMH	STORM DRAIN
	STORM MANHOLE
TDED	TELEPHONE MANHOLE
TPED	TELEPHONE PEDESTAL
TEMP	TEMPORARY
T/C	TOP OF CURB
TBM	TRAVERSE BENCHMARK
TYP	TYPICAL
UG	UNDERGROUND
UE	UTILITY EASEMENT
VG	VALLEY GUTTER
VCP	VITRIFIED CLAY PIPE
WTR	WATER
WL/WM	WATER MAIN
WV	WATER VALVE

PROPOSED	EXISTING	
		ADA ACCESSIBLE ROUTE
		CENTERLINE
	UC	COMMUNICATIONS (UNDERGROUND)
		CONTOUR LINES
		CREEK, STREAM OR WATER BODY
	========	CURB & GUTTER
——— DL ———		DISTURBED AREA
>		DITCH
→ → .		DIVERSION BERM
		DIVERSION BERM (CLEAN)
		DRAINAGE AREA
——— ACE ———	——— ACE ———— ACE ———	EASEMENT (ACCESS)
——— BMPE———	——— BMPE BMPE	EASEMENT (BMP)
DMUE DMUE	DMUE DMUE	EASEMENT (DMUE)
		EASEMENT (DRAINAGE)
	ESSE ESSE	EASEMENT (SANITARY)
	EUE EUE	EASEMENT (STORM)
PWE	EWE EWE	EASEMENT (WATER)
		EASEMENT (MISC)
		ELECTRIC (OVERHEAD)
——— UE ———	UE UE	ELECTRIC (UNDERGROUND)
-		EROSION BAFFLE
- x - x - x -	- x - x - x -	FENCE
		FLOODPLAIN
	— FW — FW —	FLOODWAY
——— G ———	— G G—	GAS LINE
0 0 0	0 0 0	GUARDRAIL
		LANDSCAPE BUFFER
LA	LA LA	LANDSCAPED AREA
		PHASE LINE
		PROPERTY LINE (ADJACENT)
		PROPERTY LINE (SUBJECT)
	+++++++++++++++++++++++++++++++++++++++	RAILROAD TRACKS
		RIGHT OF WAY
RD RD	——— RD ——— RD ———	ROOF DRAIN
FM	FM FM	SANITARY SEWER (FORCEMAIN)
SS		SANITARY SEWER (GRAVITY)
	SB SB	SETBACKS
SF SF		SILT FENCE
		STORM DRAIN
		STREAM BUFFER (ZONE 1)
		STREAM BUFFER (ZONE 2)
w w		WATER MAIN
.~~~.	.~~~~.	WOODS LINE

DSED	EXISTING		PROPOSED	EXIST	ING
1		ADA ACCESSIBLE ROUTE	ВБР	BFP	BACKFLOW PREVENTER
		CENTERLINE			BENCHMARK
		COMMUNICATIONS (UNDERGROUND)	•		BLOWOFF
		CONTOUR LINES	=		CATCH BASIN
	···_	CREEK, STREAM OR WATER BODY	<u></u>	СМ	COMMUNICATION BOX OR MANHOLE
	========	CURB & GUTTER	•	•	COMPUTED POINT
		DISTURBED AREA	•		CURB INLET
->		DITCH	•	(D)	DRAINAGE MANHOLE
→		DIVERSION BERM	©	€	ELECTRIC METER
>. ⇨.		DIVERSION BERM (CLEAN)	E	E	ELECTRIC PEDESTAL
		DRAINAGE AREA	FG	FQ	FIBER OPTIC PEDESTAL OR MARKER
ACE	——— ACE ———— ACE ———	EASEMENT (ACCESS)	(00	FDO	FIRE DEPARTMENT CONNECTION
BMPE	——— BMPE——— BMPE——	EASEMENT (BMP)	-		FLARED END SECTION
DMUE	DMUE DMUE	EASEMENT (DMUE)	©	©	GAS METER OR MARKER
		EASEMENT (DRAINAGE)	₩	8V ⋈	GAS VALVE
	ESSE ESSE	EASEMENT (SANITARY)			HEADWALL OR ENDWALL
	EUE EUE	EASEMENT (STORM)	••		HVAC
	——— EWE ———— EWE ———	EASEMENT (WATER)	*	*	HYDRANT
		EASEMENT (MISC)	•	•	IRON PIPE
	// //	ELECTRIC (OVERHEAD)	\$	\$	LIGHT POLE
	UE UE	ELECTRIC (UNDERGROUND)	0	0	MISCELLANEOUS METER
		EROSION BAFFLE	U	U	MISCELLANEOUS UTILITY PEDESTALOR MARKER
— x —	_ x x x	FENCE	Δ	Δ	REDUCER
		FLOODPLAIN	•	•	RIGHT OF WAY MONUMENT
	— FW — FW —	FLOODWAY			ROCK DAM
	— G G	GAS LINE	0	0	SANITARY CLEANOUT
<u> </u>	0 0 0	GUARDRAIL	S	<u>S</u>	SANITARY MANHOLE
<u> </u>	·	LANDSCAPE BUFFER	⊗	>	SHRUB
	——— LA ————	LANDSCAPED AREA	丽	ΤF	TRANSFORMER
_		PHASE LINE			TRANSMISSION TOWER
		PROPERTY LINE (ADJACENT)	\bigcirc	**	TREE (CANOPY)
		PROPERTY LINE (SUBJECT)		*	TREE (UNDERSTORY)
	+++++++++++++++++++++++++++++++++++++++	RAILROAD TRACKS	⊕	,	UTILITY POLE
		RIGHT OF WAY	•	WM)	WATER METER
- RD	——— RD ——— RD ———	ROOF DRAIN	•	\otimes	WATER VALVE
	—— FM —— FM ——	SANITARY SEWER (FORCEMAIN)		(WELL
		SANITARY SEWER (GRAVITY)			YARD GRATE
	SB SB	SETBACKS	•		YARD INLET
SF		SILT FENCE	1)		SWALE NUMBER
		STORM DRAIN			
		STREAM BUFFER (ZONE 1)			

HATCHING & SHADING

ASPHALT

BUILDING

CONCRETE

GRAVEL

RIP RAP

ROCK



980000

DRAWN BY: FEI
CHECKED BY: FEI
DATE: 09/22/2025
PROJECT NO.: 03079.002
REF. NO.:
SCALE: N/A

HEARTLAND LIVING & REHABILITEATION

GENERAL NOTES:

- 1. ALL ADJOINING LINE WORK IS BASED ON FIELD SURVEY PERFORMED BY FEI EXCEPT FOR SUBJECT PROPERTY.
- 2. ALL CALCULATIONS ARE APPROXIMATE, SQUARE FOOTAGE AND LINEAR FEET. ALL DISTURBANCE ACTIVITIES SHALL REMAIN WITHIN THE LIMITS OF THE TEMPORARY AND PERMANENT EASEMENTS.
- 3. EXISTING FENCING SHALL BE REMOVED/REPLACED TO EQUAL OR BETTER PRIOR TO 8. ANY EXISTING DRIVES IMPACTED BY SEWER OUTFALL INSTALLATION SHALL BE CONSTRUCTION. DURING CONSTRUCTION ACTIVITIES, THE EXISTING PUMP STATION SHALL REMAIN SECURE AT ALL TIMES.

PROPERTY OWNER

COLFAX DEVELOPMENT COMPANY LLC

DHGRIFFIN WRECKING COMPANYINC

C5 INVESTMENTS LLC

ALL CONSTRUCTION SHALL CONFIRM TO THE CITY OF GREENSBORO, NCDOT, NCDEQ 9. FROM INFORMATION PROVIDED BY PILOT ENVIRONMENTAL, MAX. PERMANENT AND GUILFORD COUNTY STANDARDS AND SPECIFICATIONS, LATEST EDITION.

PARCEL#

GUILFORD COUNTY BOARD OF EDUCATION 100178 7805295800 004560-00443 99-75

7805165709 006899-02636

170778 7805189113 008636-01396 179-3

- 5. ALL THE NECESSARY APPROVALS HAVE BEEN/ WILL BE OBTAINED FROM NCDEQ AND 10. A NCDOT 3-PARTY UTILITY ENCROACHMENT AGREEMENT WILL BE REQUIRED PRIOR USAGE FOR ANY STREAM CROSSING/ WETLAND DISTURBANCE.
- 6. A 100-YEAR FLOODPLAIN (SFHA) DOES NOT EXIST ON THE PROPERTY BASED ON FIRM MAPS #3710780600J & #3710780500J WITH EFFECTIVE DATE 06/18/2007 (ZONE X).
- 7. ALL TEMPORARY STREAM AND WETLAND CROSSING IMPACTS SHALL FOLLOW CONDITIONS IN THE APPROVED 401 AND 404 PCN CERTIFICATIONS.
- RESTORED TO EQUAL OR BETTER CONDITION BEFORE REMOVAL, AT NO TIME SHALL CONSTRUCTION ACTIVITIES LIMIT ACCESS TO PROPERTY OWNERS.

EASEMENT WITHIN BUFFERS IS 30' WITH ADDITIONAL 5' TEMPORARY EASEMENT.

PERMANENTSS

ESMT(SF)

23,450

7,311

52,515

21,549

TEMPORARY SS

ESMT(SF)

35,175

10,967

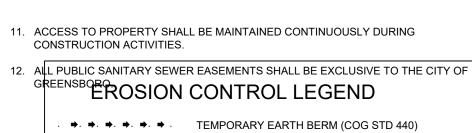
78,214

33,004

PERMANENTSS

1,173

2,626



TO PERFORMING CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC R/W OF WEST

MARKET STREET (SR 1008). ALL CONDITIONS WITHIN THE ENCROACHMENT

AGREEMENT SHALL BE FOLLOWED DURING CONSTRUCTION ACTIVITIES.

SILT FENCE (COG STD 430) DISTURBED LIMITS COIR BAFFLES (SEDIMENT BASIN/ SKIMMER BASINS) **EXISTING CONTOURS** PROPOSED CONTOURS

CONSTRUCTION ENTRANCE (COG STD 217-A) TEMPORARY STREAM CROSSING (COD STD 213) SILT FENCE STONE OUTLETS (COG STD 430) INLET PROTECTION (COG STD 431)

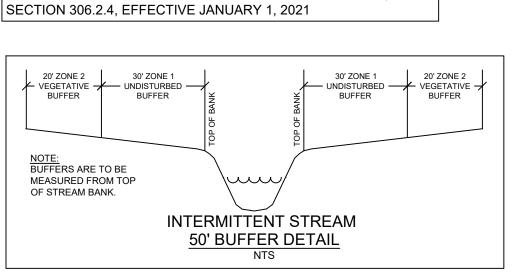
STONE CHECK DAM (COG STD 432)

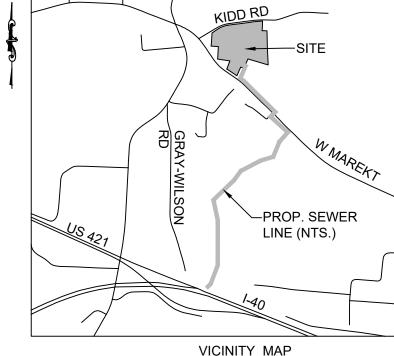
CURLEX I MATTING

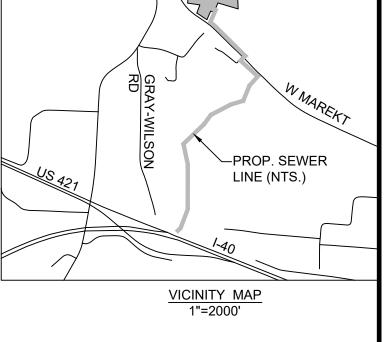
TRACER WIRE REQUIRED - FOR PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND BUILDING SEWER. THE TRACER WIRE SIZE SHALL BE NOT LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL. PER 2018 NC PLUMBING CODE ADDENDA,

CONSTRUCTION INSPECTION: CONSTRUCTION INSPECTION REQUIRED FOR 8" & 10" SANITARY SEWER. CALL (336) 373-2377 TO SCHEDULE INSPECTOR

ENCROACHMENT PERMIT IS REQUIRED THROUGH NCDOT, CALL (336) 487-0100 FOR PERMIT.









SITE DATA: CENTURY CARE MANAGEMENT

WATERSHED DATA: WATERSHED: WEST FORK DEEP RIVER

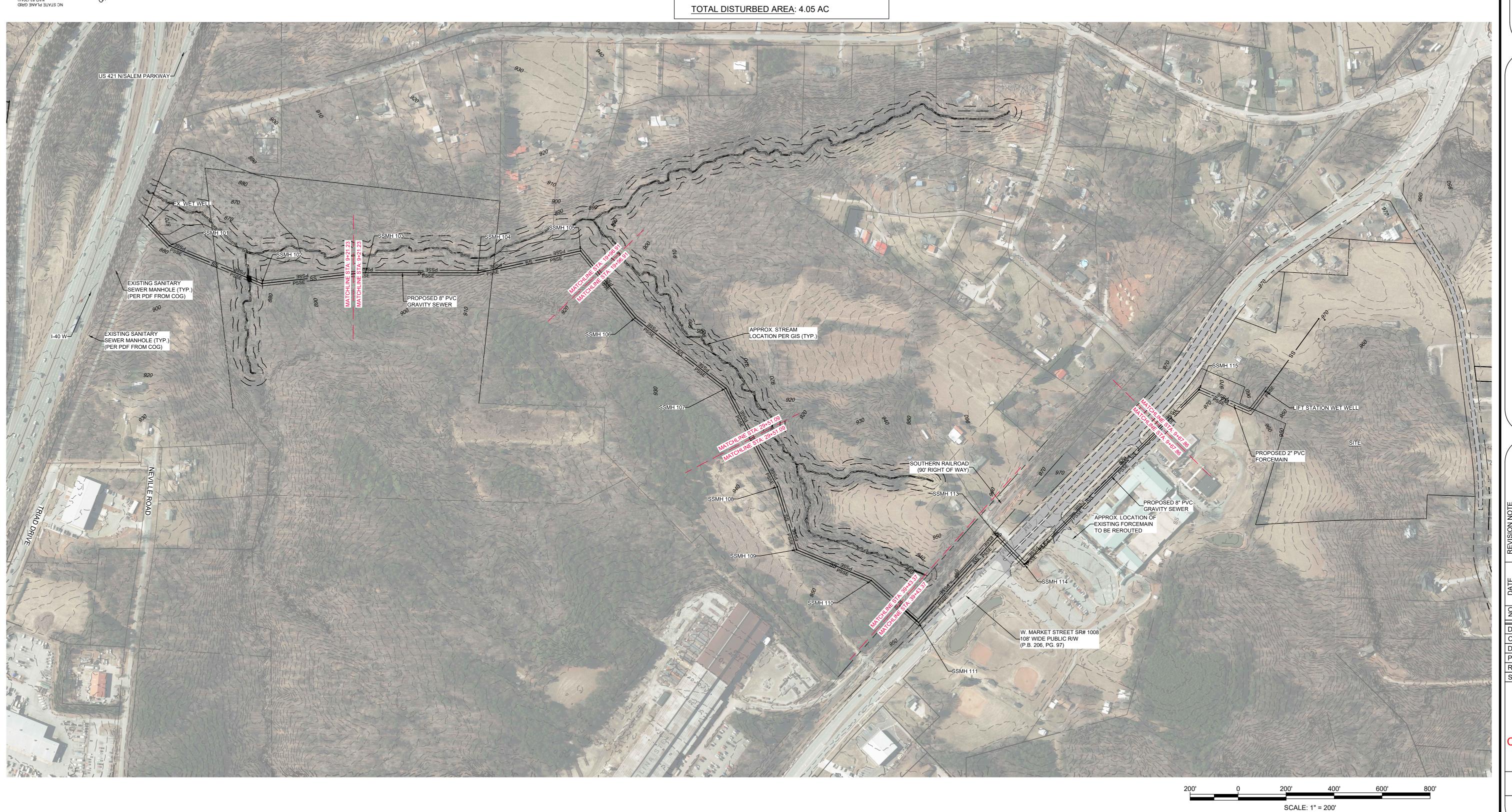
WATERSHED CLASSIFICATION: WS-IV (P)

SOIL TYPES: CKB, CKC, CLB2, CNA, PPD2, PPE2

RIVER BASIN: CAPE FEAR RIVER BASIN

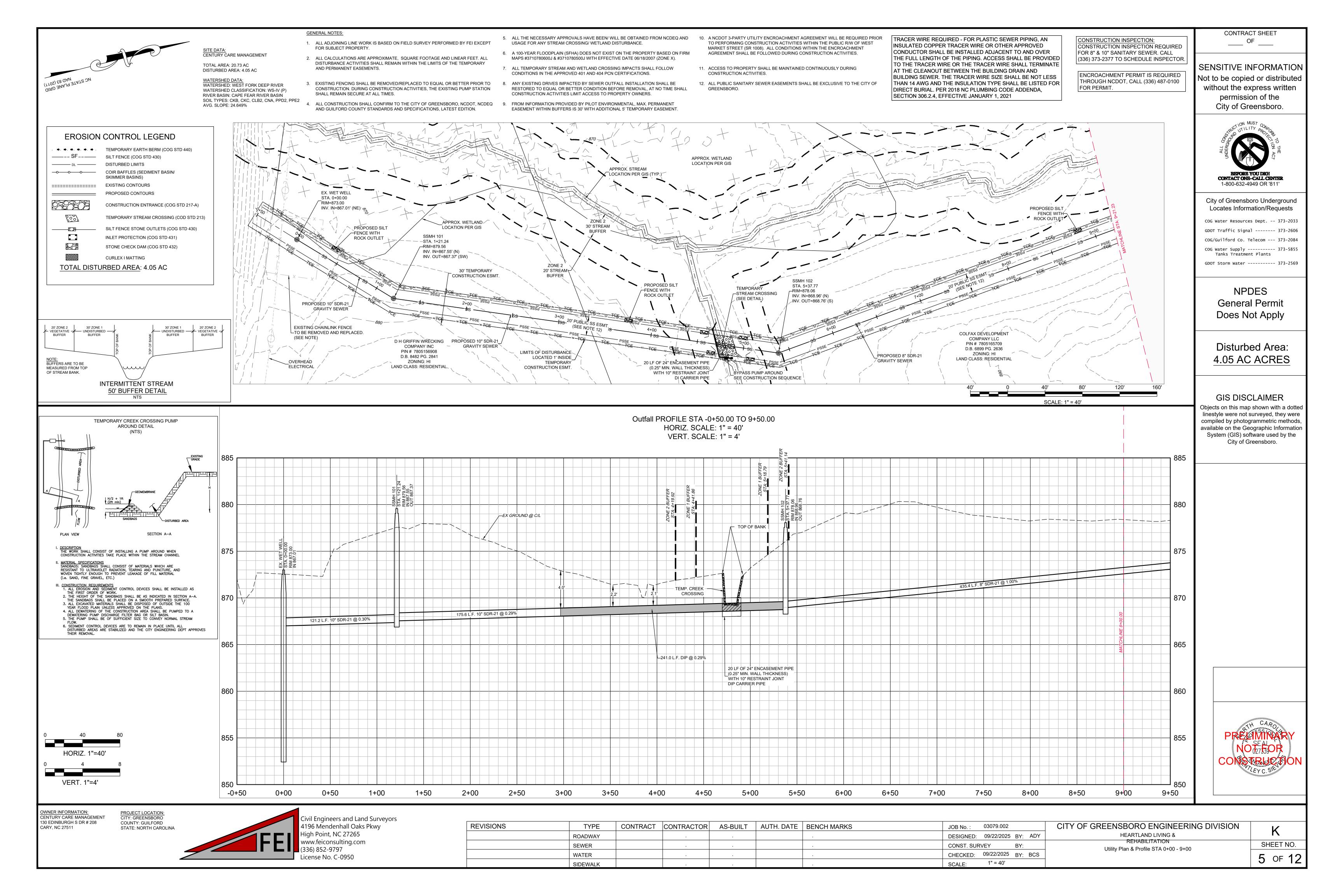
TOTAL AREA: 20.73 AC DISTURBED AREA: 4.05 AC

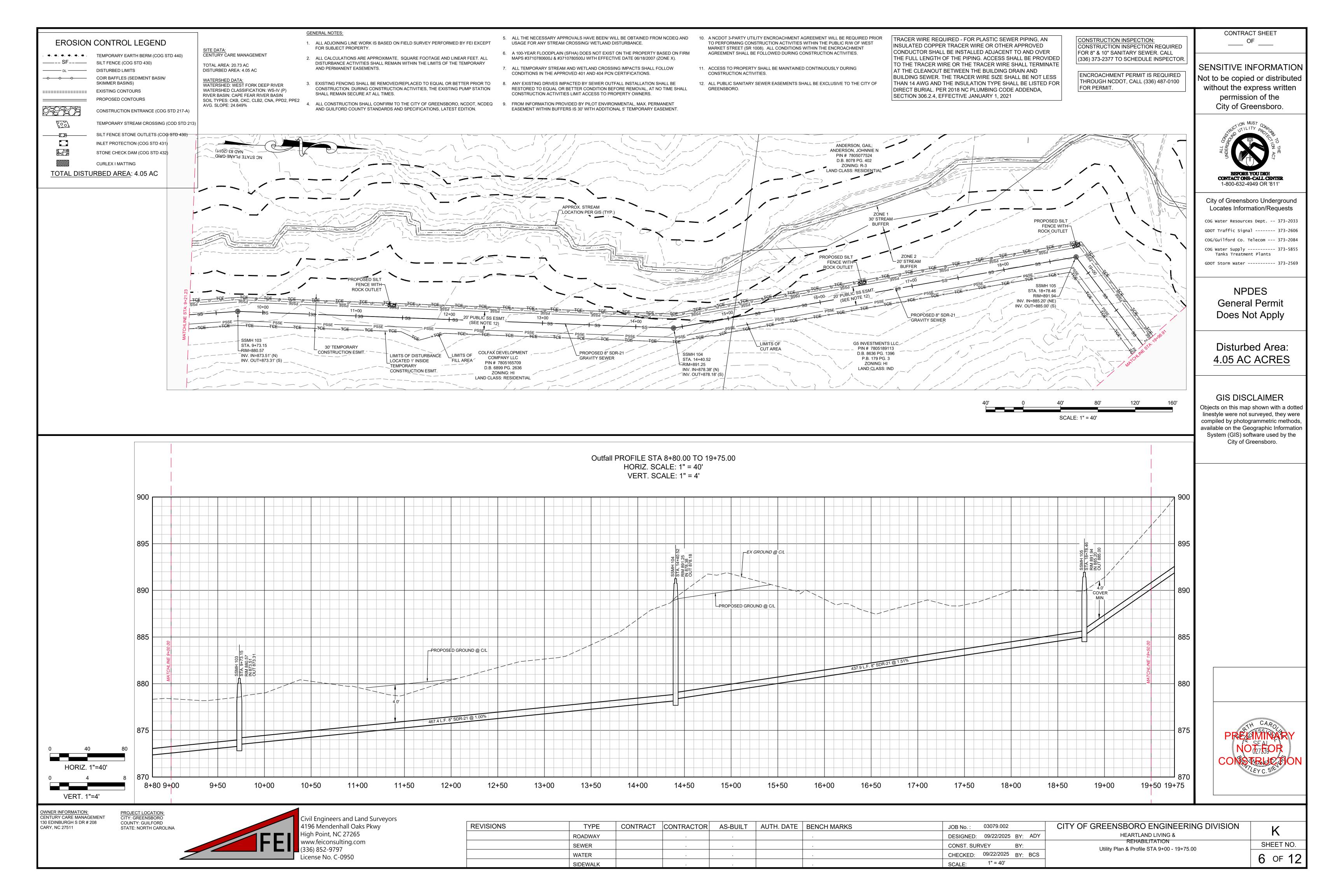
AVG. SLOPE: 24.649%

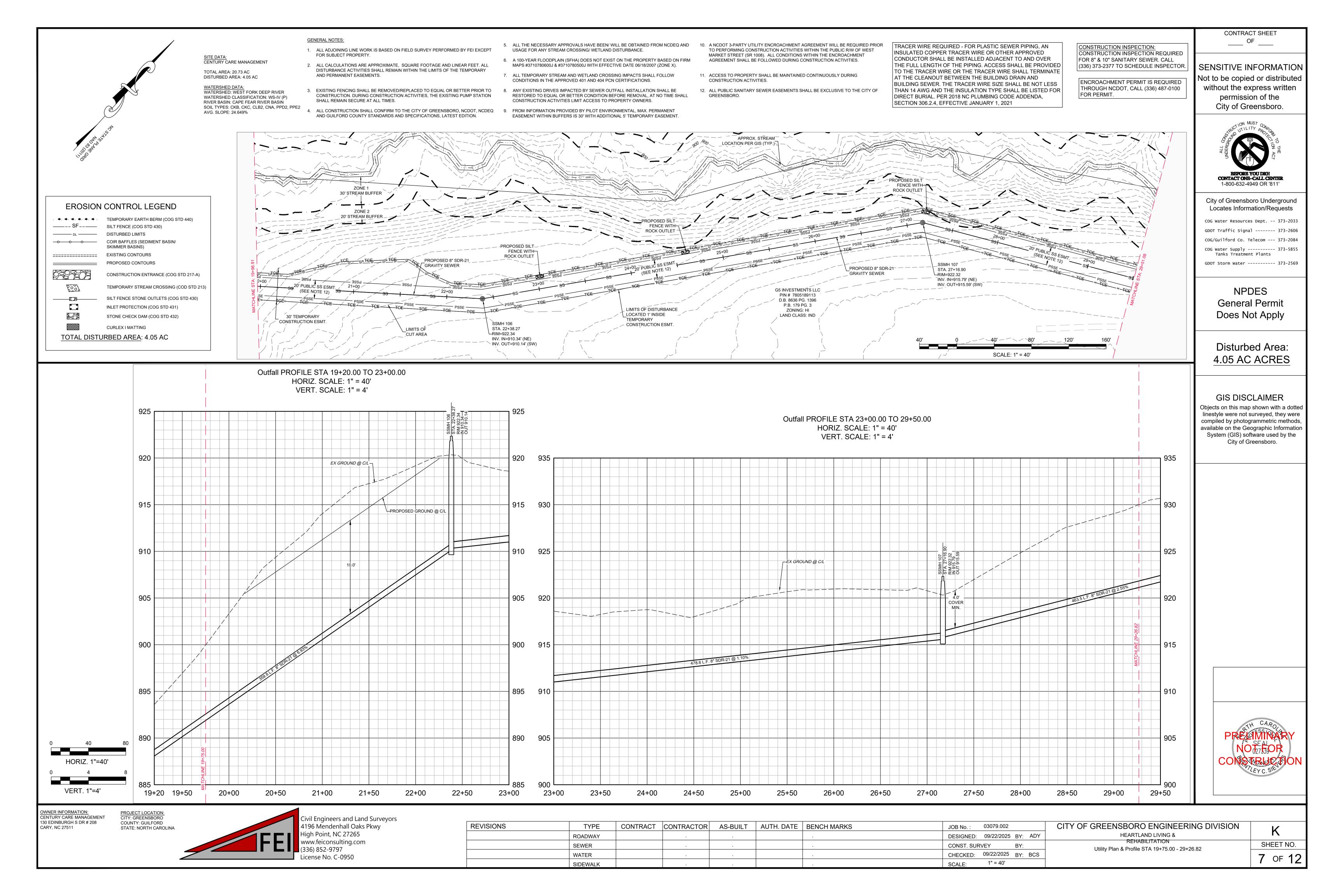


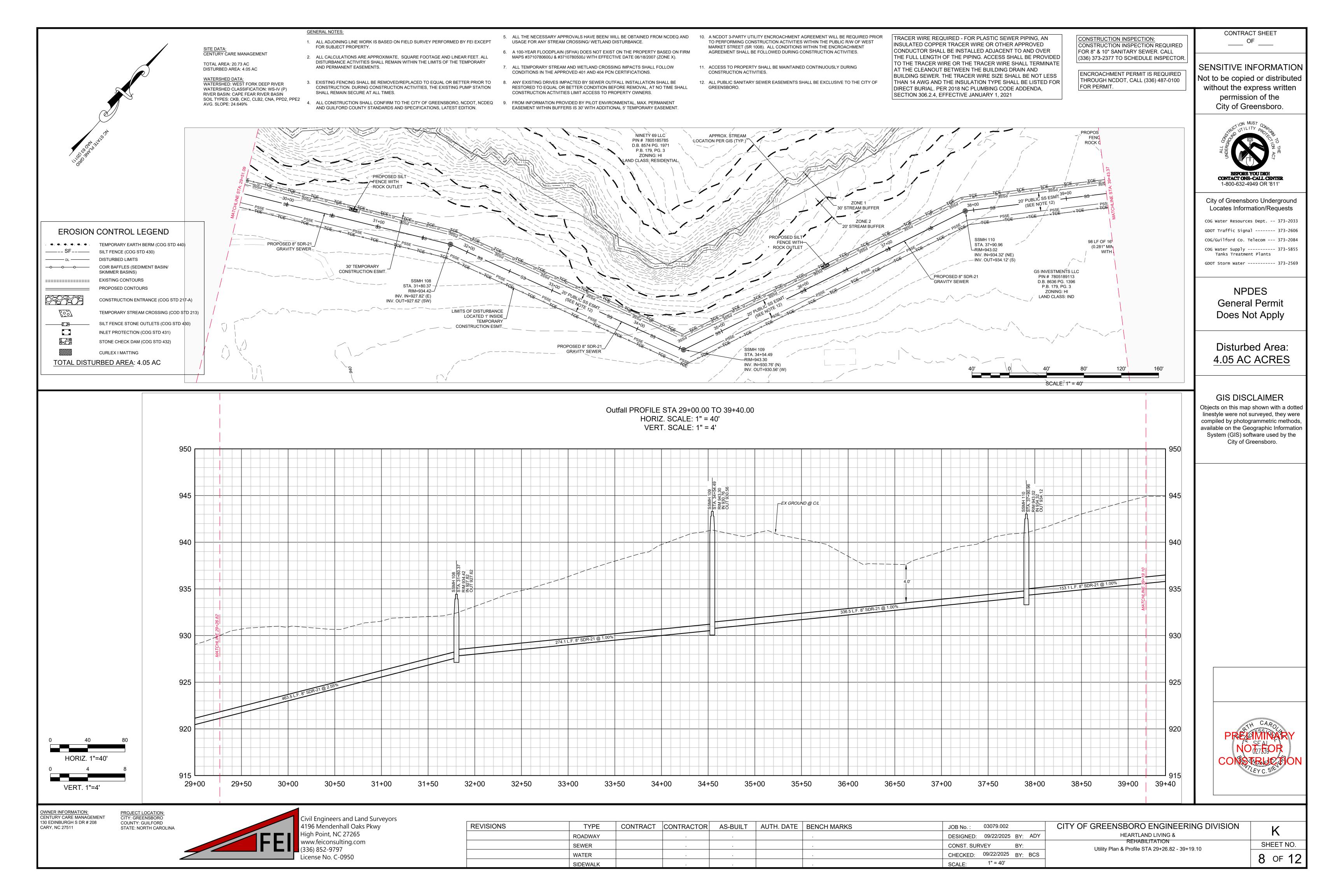
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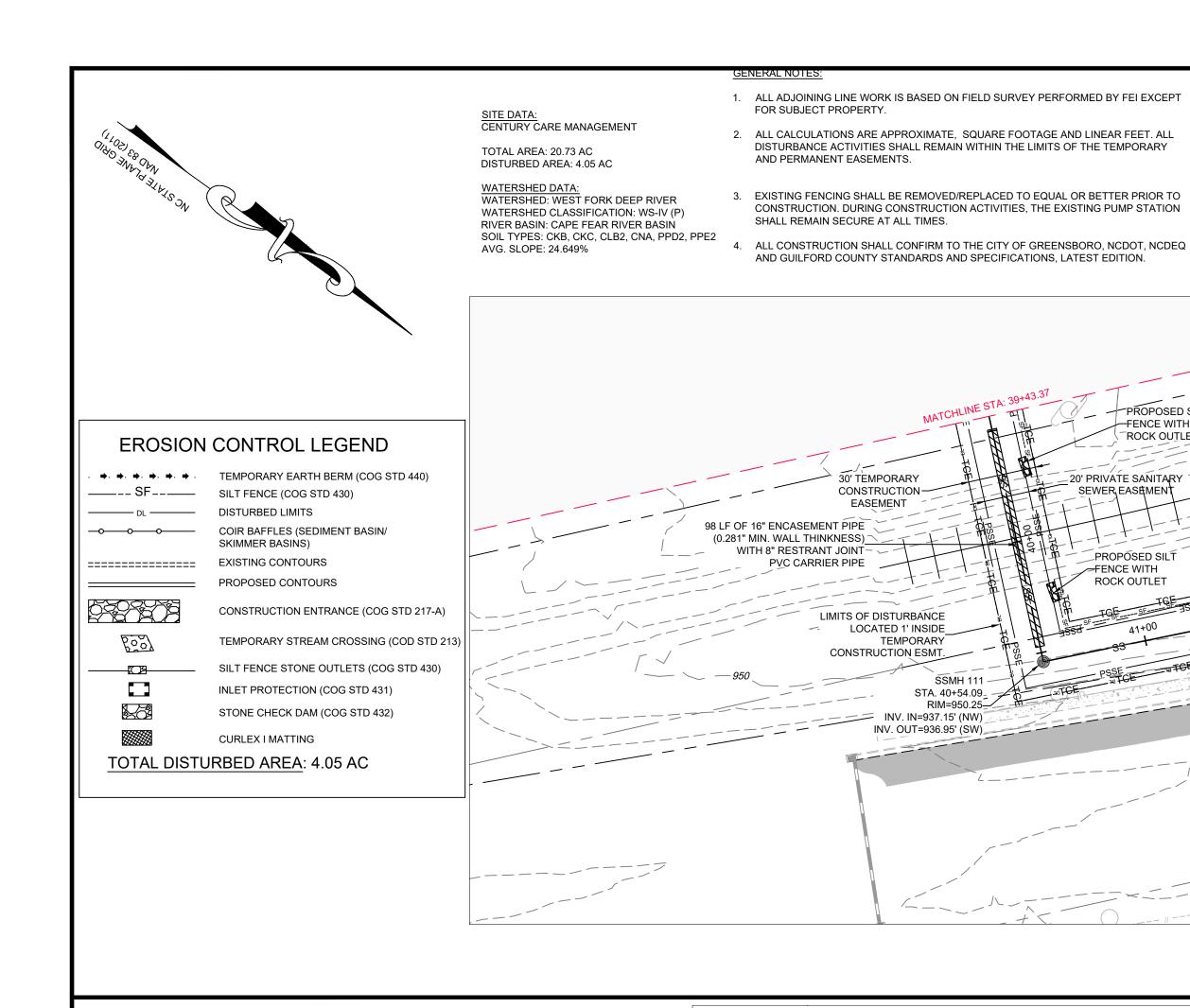
4 OF 12











5. ALL THE NECESSARY APPROVALS HAVE BEEN/ WILL BE OBTAINED FROM NCDEQ AND 10. A NCDOT 3-PARTY UTILITY ENCROACHMENT AGREEMENT WILL BE REQUIRED PRIOR USAGE FOR ANY STREAM CROSSING/ WETLAND DISTURBANCE.

6. A 100-YEAR FLOODPLAIN (SFHA) DOES NOT EXIST ON THE PROPERTY BASED ON FIRM MAPS #3710780600J & #3710780500J WITH EFFECTIVE DATE 06/18/2007 (ZONE X). 7. ALL TEMPORARY STREAM AND WETLAND CROSSING IMPACTS SHALL FOLLOW CONDITIONS IN THE APPROVED 401 AND 404 PCN CERTIFICATIONS.

8. ANY EXISTING DRIVES IMPACTED BY SEWER OUTFALL INSTALLATION SHALL BE RESTORED TO EQUAL OR BETTER CONDITION BEFORE REMOVAL, AT NO TIME SHALL CONSTRUCTION ACTIVITIES LIMIT ACCESS TO PROPERTY OWNERS.

ALL CONSTRUCTION SHALL CONFIRM TO THE CITY OF GREENSBORO, NCDOT, NCDEQ 9. FROM INFORMATION PROVIDED BY PILOT ENVIRONMENTAL, MAX. PERMANENT EASEMENT WITHIN BUFFERS IS 30' WITH ADDITIONAL 5' TEMPORARY EASEMENT.

TO PERFORMING CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC R/W OF WEST MARKET STREET (SR 1008). ALL CONDITIONS WITHIN THE ENCROACHMENT AGREEMENT SHALL BE FOLLOWED DURING CONSTRUCTION ACTIVITIES.

11. ACCESS TO PROPERTY SHALL BE MAINTAINED CONTINUOUSLY DURING CONSTRUCTION ACTIVITIES.

12. ALL PUBLIC SANITARY SEWER EASEMENTS SHALL BE EXCLUSIVE TO THE CITY OF

TRACER WIRE REQUIRED - FOR PLASTIC SEWER PIPING, AN CONSTRUCTION INSPECTION: INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONSTRUCTION INSPECTION REQUIRED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER FOR 8" & 10" SANITARY SEWER. CALL THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND BUILDING SEWER. THE TRACER WIRE SIZE SHALL BE NOT LESS

THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR

DIRECT BURIAL. PER 2018 NC PLUMBING CODE ADDENDA,

SECTION 306.2.4, EFFECTIVE JANUARY 1, 2021

(336) 373-2377 TO SCHEDULE INSPECTOR

ENCROACHMENT PERMIT IS REQUIRED THROUGH NCDOT, CALL (336) 487-0100 FOR PERMIT.

CONTRACT SHEET

SENSITIVE INFORMATION Not to be copied or distributed without the express writter permission of the City of Greensboro



City of Greensboro Underground Locates Information/Requests

COG Water Resources Dept. -- 373-2033 GDOT Traffic Signal ----- 373-2606 COG/Guilford Co. Telecom --- 373-2084 COG Water Supply ----- 373-5855 Tanks Treatment Plants

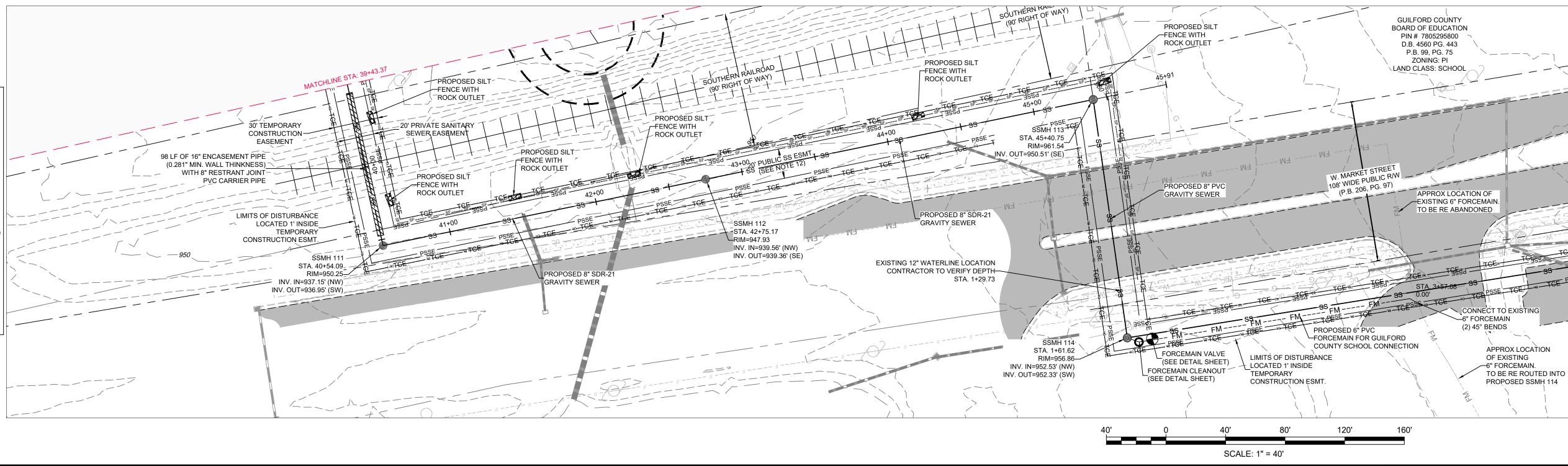
GDOT Storm Water ----- 373-2569

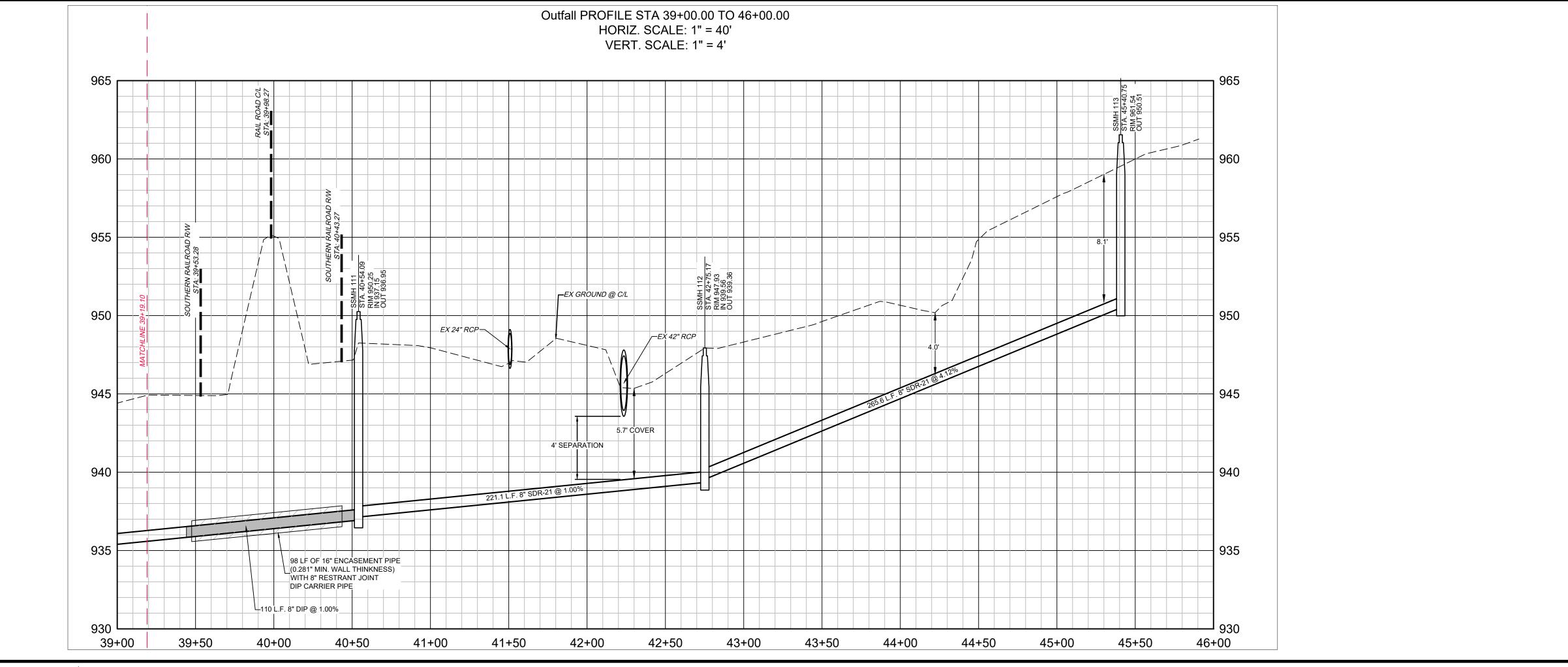
NPDES General Permit Does Not Apply

Disturbed Area: 4.05 AC ACRES

GIS DISCLAIMER

Objects on this map shown with a dotted linestyle were not surveyed, they were compiled by photogrammetric methods, available on the Geographic Information System (GIS) software used by the City of Greensboro.





VERT. 1"=4'

ENTURY CARE MANAGEMENT 130 EDINBURGH S DR # 208 CARY, NC 27511

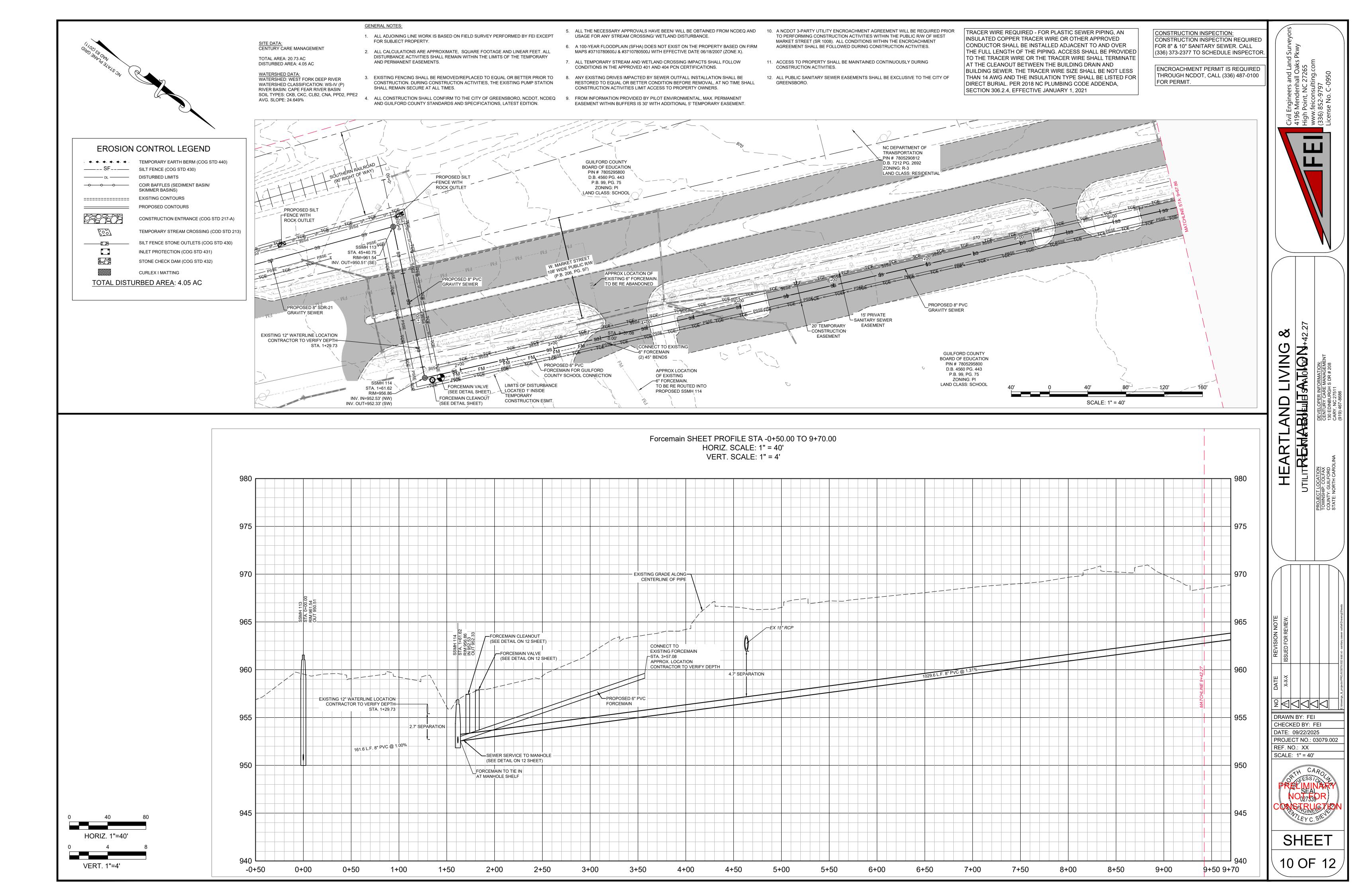
PROJECT LOCATION CITY: GREENSBORO COUNTY: GUILFORD STATE: NORTH CAROLINA

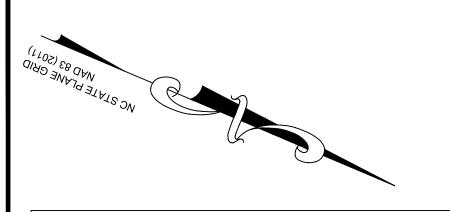


Civil Engineers and Land Surveyors 196 Mendenhall Oaks Pkwy High Point, NC 27265 www.feiconsulting.com 336) 852-9797

REVISIONS	TYPE	CONTRACT	CONTRACTOR	AS-BUILT	AUTH. DATE	BENCH MARKS	JOB No.: 03079.002
	ROADWAY						DESIGNED: 09/22/2025 BY: ADY
	SEWER						CONST. SURVEY BY:
	WATER						CHECKED: 09/22/2025 BY: BCS
	SIDEWALK						SCALE: 1" = 40'

CITY OF GREENSBORO ENGINEERING DIVISION **HEARTLAND LIVING &** REHABILITATION SHEET NO. Utility Plan & Profile STA 39+19.10 - 45+16.48 9 of 12





EROSION CONTROL LEGEND

→ · → · → · → · → · TEMPORARY EARTH BERM (COG STD 440) SILT FENCE (COG STD 430) COIR BAFFLES (SEDIMENT BASIN/

SKIMMER BASINS) EXISTING CONTOURS PROPOSED CONTOURS

TOTAL DISTURBED AREA: 4.05 AC

CONSTRUCTION ENTRANCE (COG STD 217-A) TEMPORARY STREAM CROSSING (COD STD 213)

SILT FENCE STONE OUTLETS (COG STD 430) INLET PROTECTION (COG STD 431) STONE CHECK DAM (COG STD 432) **CURLEX I MATTING**

SITE DATA: CENTURY CARE MANAGEMENT

TOTAL AREA: 20.73 AC

DISTURBED AREA: 4.05 AC

WATERSHED: WEST FORK DEEP RIVER WATERSHED CLASSIFICATION: WS-IV (P) RIVER BASIN: CAPE FEAR RIVER BASIN SOIL TYPES: CKB, CKC, CLB2, CNA, PPD2, PPE2 AVG. SLOPE: 24.649%

1. ALL ADJOINING LINE WORK IS BASED ON FIELD SURVEY PERFORMED BY FEI EXCEPT FOR SUBJECT PROPERTY.

GENERAL NOTES:

AND PERMANENT EASEMENTS.

- 2. ALL CALCULATIONS ARE APPROXIMATE, SQUARE FOOTAGE AND LINEAR FEET. ALL DISTURBANCE ACTIVITIES SHALL REMAIN WITHIN THE LIMITS OF THE TEMPORARY
- 3. EXISTING FENCING SHALL BE REMOVED/REPLACED TO EQUAL OR BETTER PRIOR TO 8. ANY EXISTING DRIVES IMPACTED BY SEWER OUTFALL INSTALLATION SHALL BE CONSTRUCTION. DURING CONSTRUCTION ACTIVITIES, THE EXISTING PUMP STATION SHALL REMAIN SECURE AT ALL TIMES.
- 4. ALL CONSTRUCTION SHALL CONFIRM TO THE CITY OF GREENSBORO, NCDOT, NCDEQ 9.
- RESTORED TO EQUAL OR BETTER CONDITION BEFORE REMOVAL, AT NO TIME SHALL CONSTRUCTION ACTIVITIES LIMIT ACCESS TO PROPERTY OWNERS.

USAGE FOR ANY STREAM CROSSING/ WETLAND DISTURBANCE.

MAPS #3710780600J & #3710780500J WITH EFFECTIVE DATE 06/18/2007 (ZONE X).

FROM INFORMATION PROVIDED BY PILOT ENVIRONMENTAL, MAX. PERMANENT

7. ALL TEMPORARY STREAM AND WETLAND CROSSING IMPACTS SHALL FOLLOW

CONDITIONS IN THE APPROVED 401 AND 404 PCN CERTIFICATIONS.

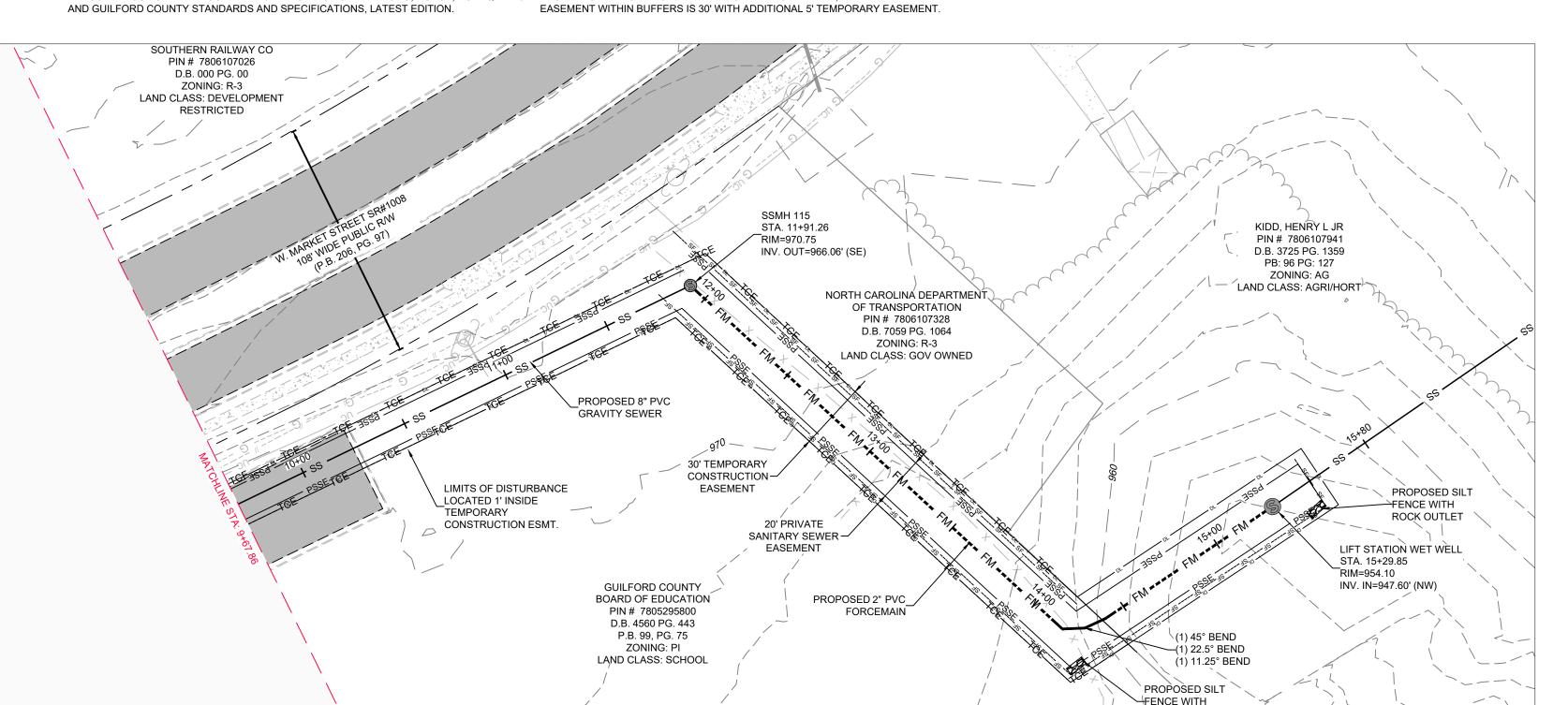
- 5. ALL THE NECESSARY APPROVALS HAVE BEEN/ WILL BE OBTAINED FROM NCDEQ AND 10. A NCDOT 3-PARTY UTILITY ENCROACHMENT AGREEMENT WILL BE REQUIRED PRIOR TO PERFORMING CONSTRUCTION ACTIVITIES WITHIN THE PUBLIC R/W OF WEST MARKET STREET (SR 1008). ALL CONDITIONS WITHIN THE ENCROACHMENT 6. A 100-YEAR FLOODPLAIN (SFHA) DOES NOT EXIST ON THE PROPERTY BASED ON FIRM AGREEMENT SHALL BE FOLLOWED DURING CONSTRUCTION ACTIVITIES.
 - 11. ACCESS TO PROPERTY SHALL BE MAINTAINED CONTINUOUSLY DURING CONSTRUCTION ACTIVITIES.
 - 12. ALL PUBLIC SANITARY SEWER EASEMENTS SHALL BE EXCLUSIVE TO THE CITY OF GREENSBORO.

TRACER WIRE REQUIRED - FOR PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND BUILDING SEWER. THE TRACER WIRE SIZE SHALL BE NOT LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL. PER 2018 NC PLUMBING CODE ADDENDA,

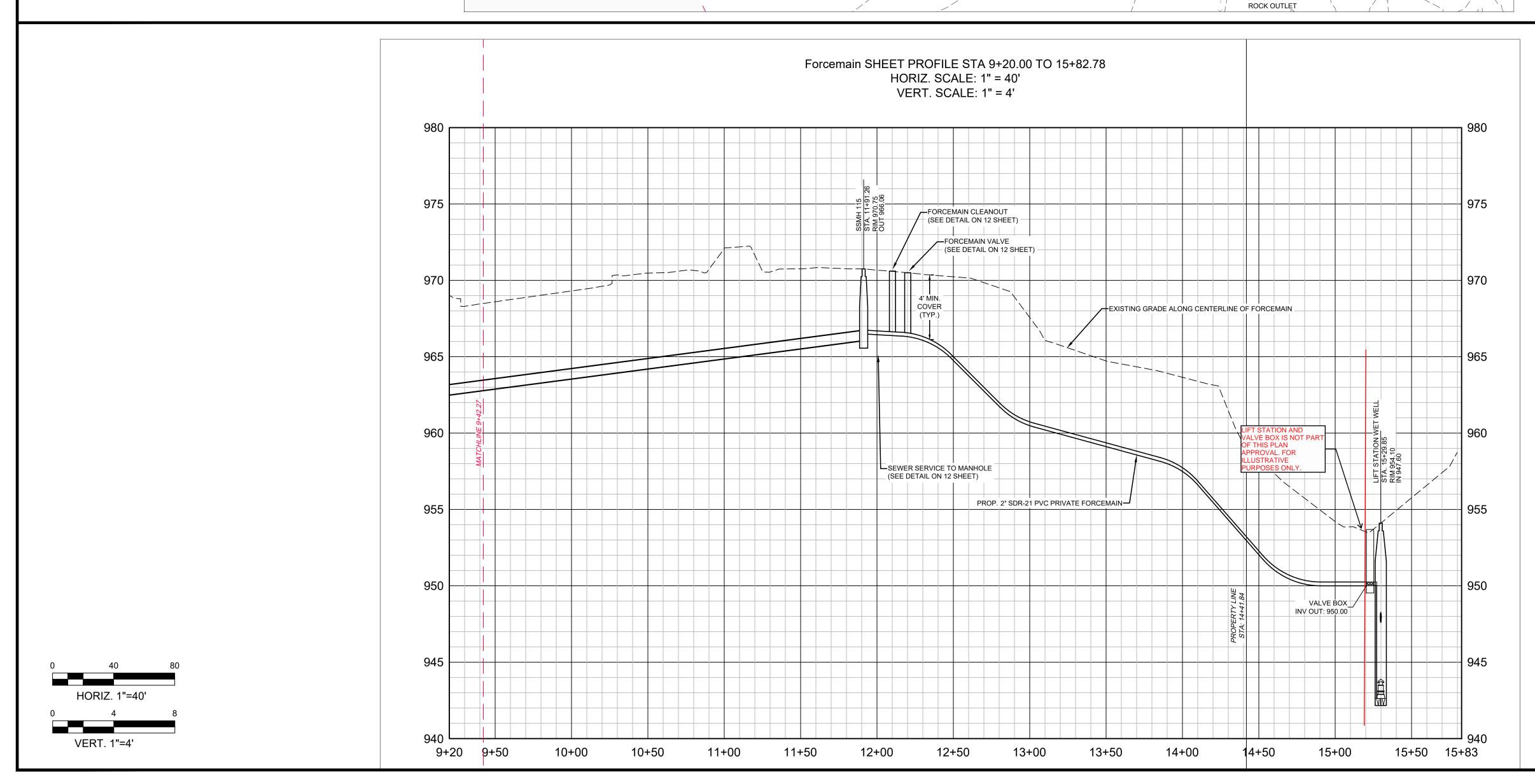
SECTION 306.2.4, EFFECTIVE JANUARY 1, 2021

CONSTRUCTION INSPECTION: CONSTRUCTION INSPECTION REQUIRED FOR 8" & 10" SANITARY SEWER. CALL (336) 373-2377 TO SCHEDULE INSPECTOR.

ENCROACHMENT PERMIT IS REQUIRED THROUGH NCDOT, CALL (336) 487-0100 FOR PERMIT.

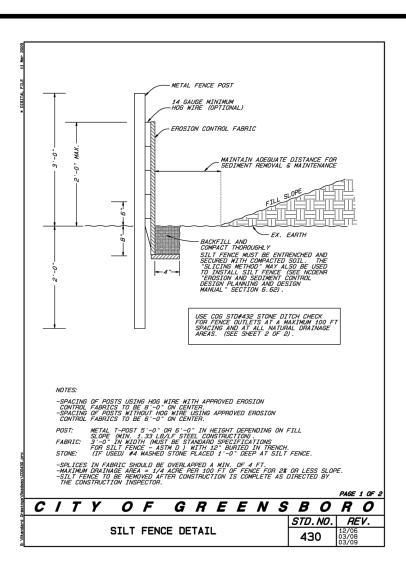


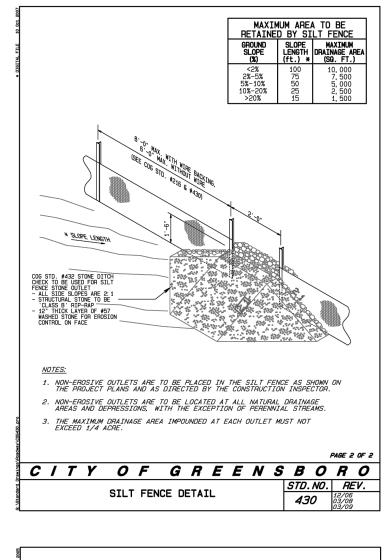


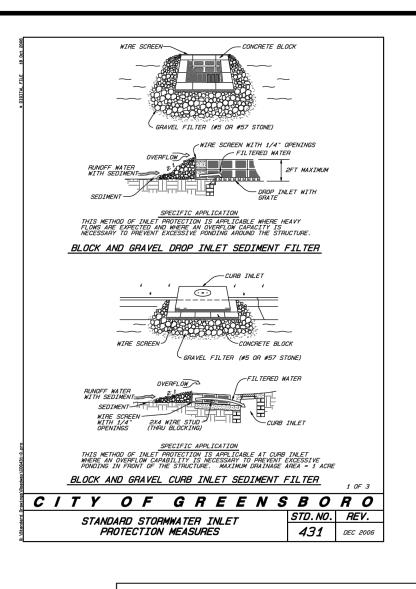


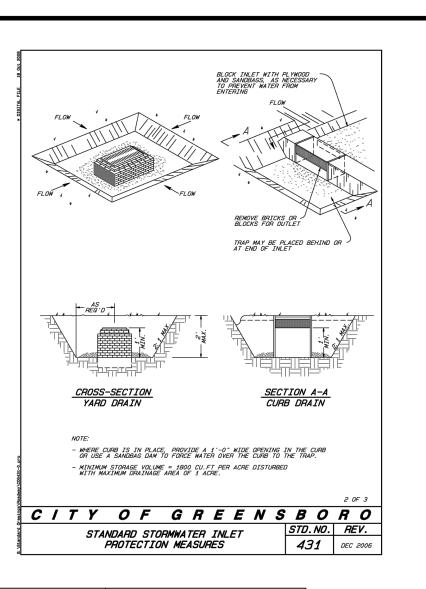
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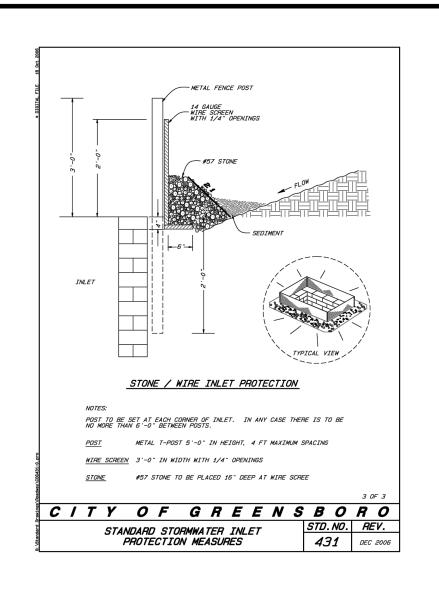
11 OF 12

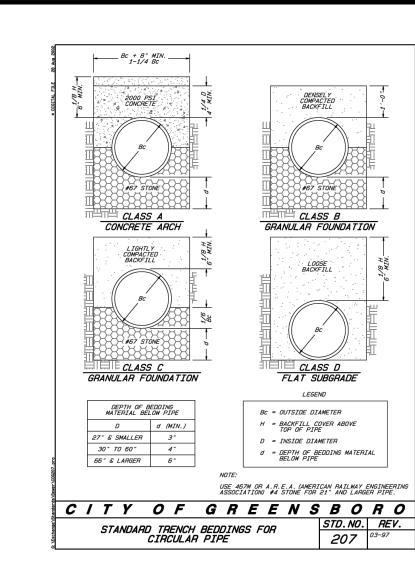


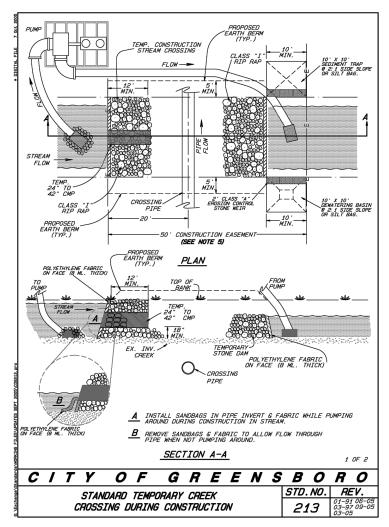


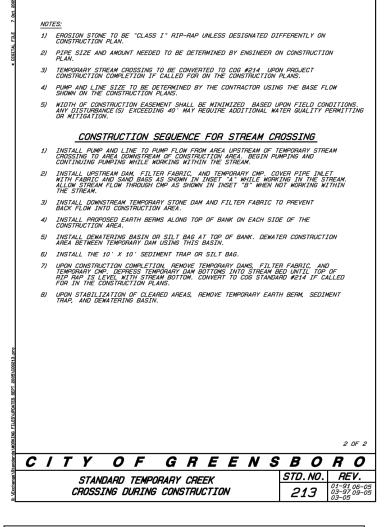


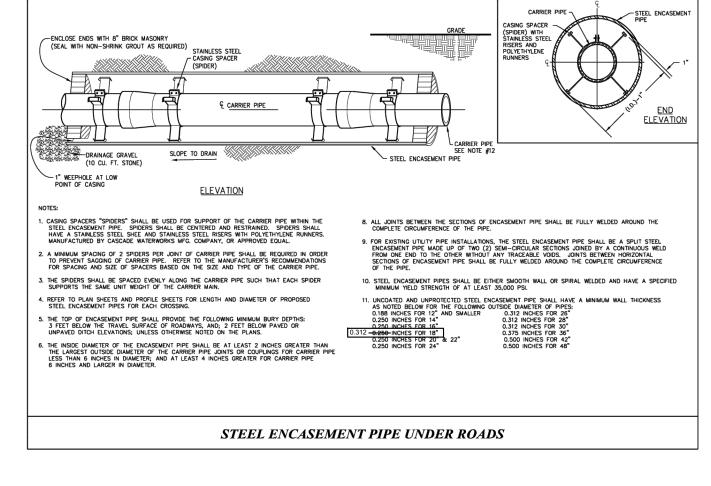


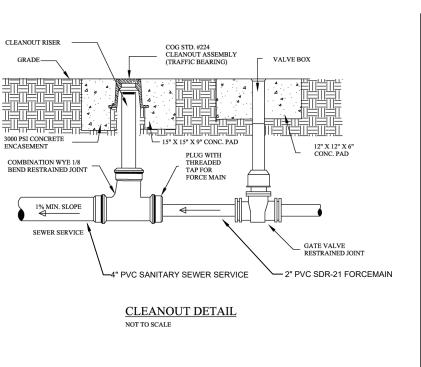


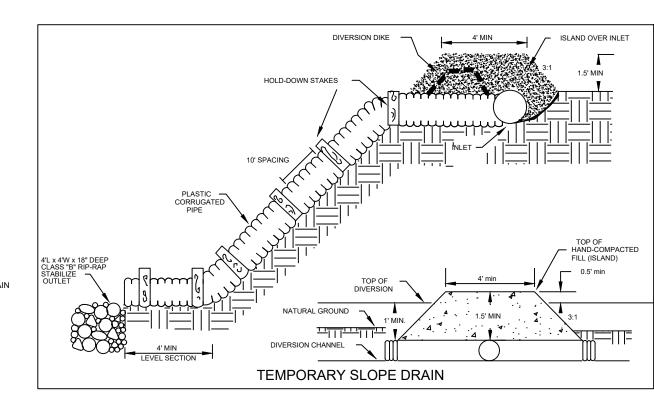


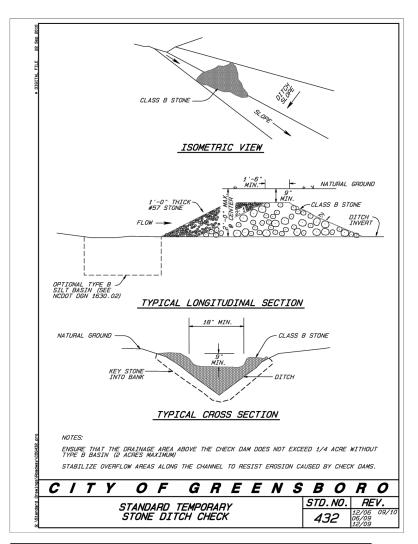


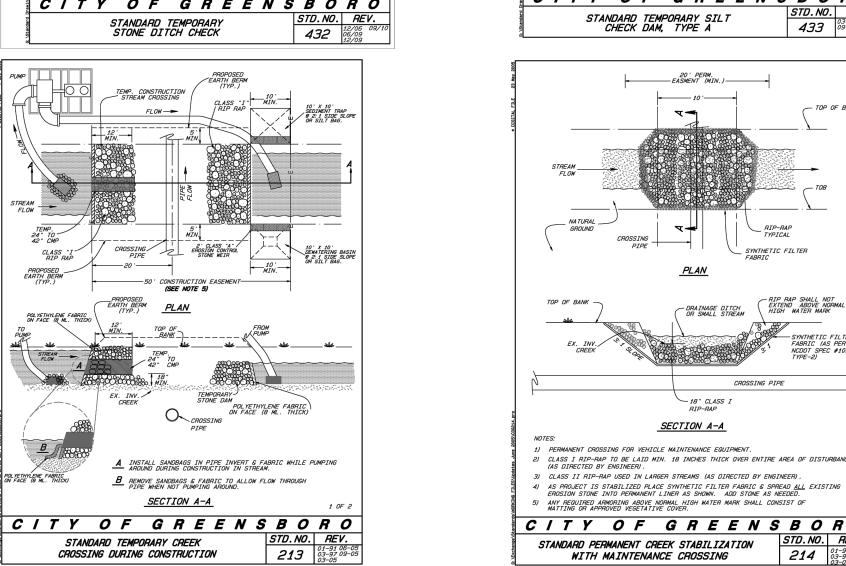


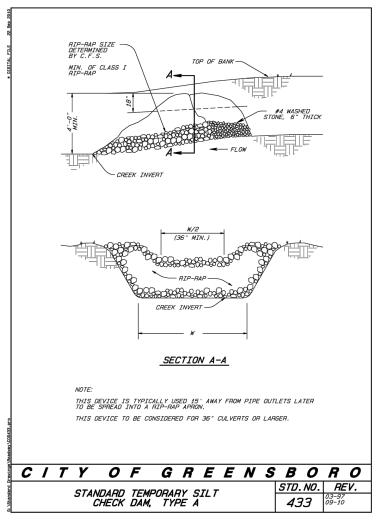


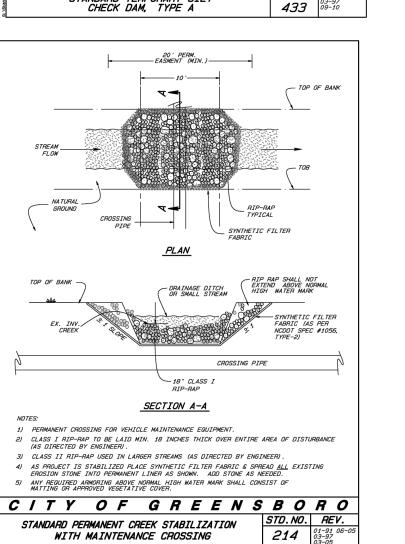


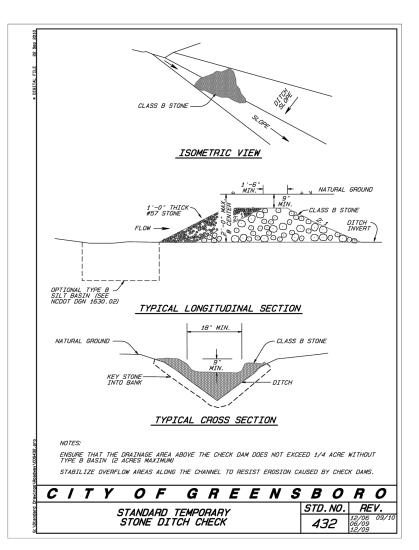


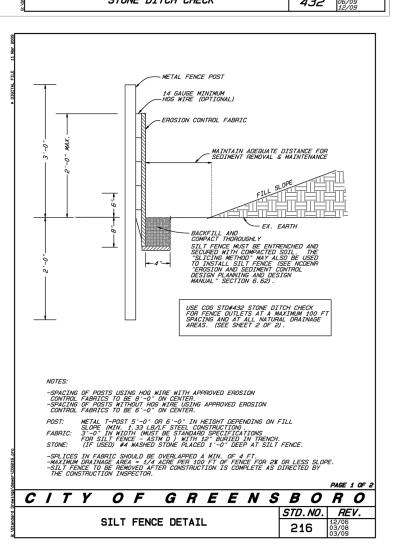


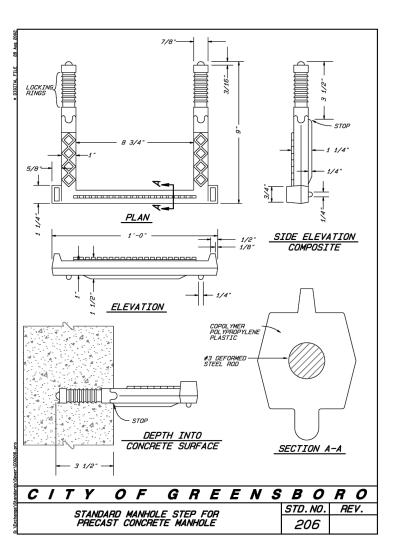


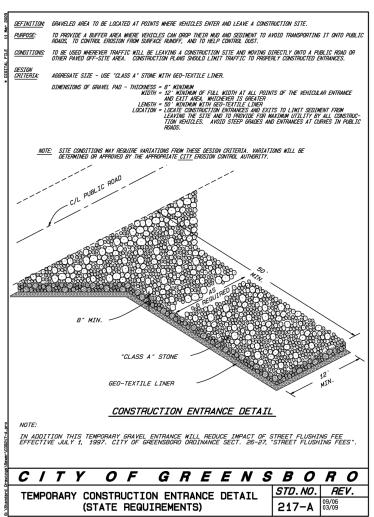


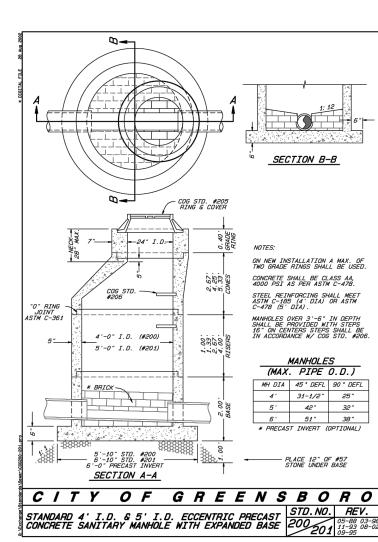


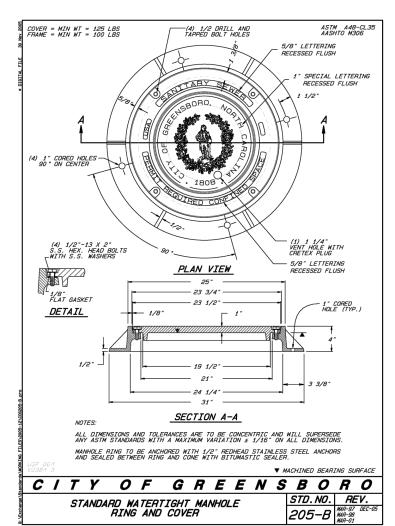












		LENGTH C	F APRON
ZONE	APRON MATERIAL	TO PROTECT CULVERT	TO PREVENT SCOUR HOLE USE L2 ALWAYS L2
		L1	
1	STONE FILLING (FINE) CL. A	3 X D ₀	4 x D _o
2	STONE FILLING (LIGHT) CL. B	3 X D ₀	6 x D _o
3	STONE FILLING (MEDIUM) CL. 1	4 X D ₀	8 x D _o
4	STONE FILLING (HEAVY) CL. 1	4 X D ₀	8 x D _o
5	STONE FILLING (HEAVY) CL. 2	5 X D ₀	10 x D _o
6	STONE FILLING (HEAVY) CL. 2	6 X D ₀	10 x D _o
7	SPECIAL STUDY REQUIRED (ENEI BASIN OR LARGER SIZE STONE).	RGY DISSIPATORS, ST	ILLING
Fig	gure 8.06d		

DETERMINATION OF STONE SIZES FOR DUMPED STONE CHANNEL LININGS AND REVETMENTS

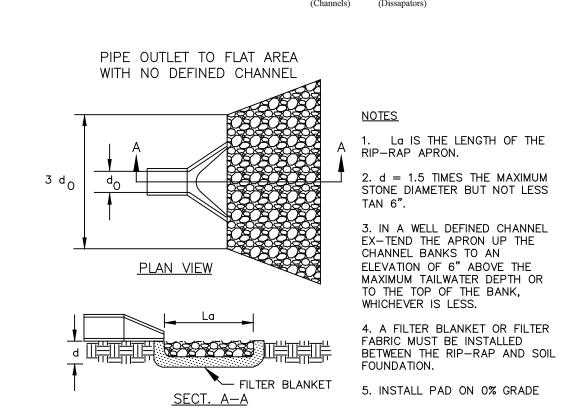
Fps = 20" or 550 lbs. **Step 2.** Use figure 8.06.b.4 to determine acceptable size range for stone (for 12 FPS it is 125-500 lbs. for 75% of stone, and the maximum and minimum range in weight should be 25-500 lbs.).

Step 1. Use figure 8.06.b.3 to determine maximum stone size (e.g. for 12

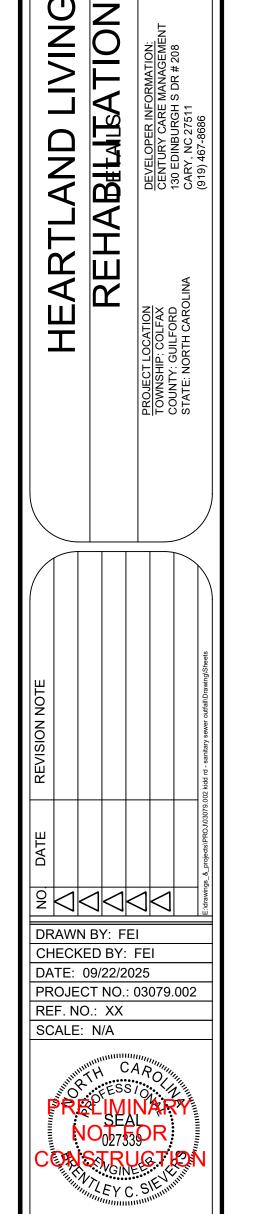
 $\ensuremath{\mathbf{NOTE:}}$ In determining channel velocities for stone linings and revetment, use the following coefficients of roughness: Min. thickness 0.031 Light 0.035 Medium

0.044

Heavy



OUTLET STABILIZATION STRUCTURE



SHEET

12 OF 12

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