

NORTH CAROLINA BUILDING CODE SUMMARY

BUILDING RENOVATIONS

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: THE CARROLTON OF NASH
Address: 1369 HUNTER HILL ROAD - ROCKY MOUNT, NORTH CAROLINA Zip Code: 27804
Owner/Authorized Agent: SONYA ROZIER Phone: 919-414-4381 E-mail: sonya.rozier@healthcare.com
Owned By: ☐ City/County ☒ Private ☐ State
Code Enforcement Jurisdiction: ☒ City ROCKY MOUNT ☐ County ☐ State

DESIGNER OF RECORD:

LEAD DESIGN PROFESSIONAL: DAVID R. POLSTON
DESIGNER FIRM NAME LICENSE # TELEPHONE # E-MAIL
Architectural DAVID R. POLSTON ARCH. DAVID R. POLSTON 3715 (919) 292-8902 polston@drpolston.com
Civil N/A N/A N/A N/A N/A
Electrical DAVID SIMS & ASSOCIATES DAVID SIMS 7138 (919) 791-8016 office@dsim.com
Fire Alarm DAVID SIMS & ASSOCIATES DAVID SIMS 7138 (919) 791-8016 office@dsim.com
Plumbing DAVID SIMS & ASSOCIATES DAVID SIMS 7138 (919) 791-8016 office@dsim.com
Mechanical DAVID SIMS & ASSOCIATES DAVID SIMS 7138 (919) 791-8016 office@dsim.com
Sprinkler-Standpipe N/A N/A N/A N/A N/A
Structural N/A N/A N/A N/A N/A
Retaining Walls > 5' High N/A N/A N/A N/A N/A
Other

2018 EDITION OF NC CODE: ☐ New Construction ☐ Addition ☐ Renovation

2018 NC EXISTING BUILDING CODE: ☐ Alteration ☐ Repair ☒ Renovation

CONSTRUCTED: (date) 1980 CURRENT OCCUPANCY(S) (CH,3) 1-2

RENOVATED: (date) PROPOSED OCCUPANCY(S) (CH,3) 1-2

OCCUPANCY CATEGORY (table 1604.5) Current Proposed

BASIC BUILDING DATA:

Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☒ V-A
☐ I-B ☐ II-B ☐ III-B ☐ V-B

Sprinklers: ☐ No ☒ Partial ☒ Yes ☒ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D

Standpipes: ☒ No ☐ Yes Class ☐ I ☐ II ☐ III ☐ Wet ☐ Dry

Fire District: ☒ No ☐ Yes (Primary) Flood Hazard Area: ☐ No ☐ Yes

Special Inspections Required: ☒ No ☐ Yes

Gross Building Area Table:

FLOOR:	EXISTING (SQFT.)	NEW (SQFT.)	RENO. / ALTER (SQFT.)	SUB-TOTAL
3rd Floor				
2nd Floor				
1st Floor	54,139 S.F.	0 S.F.	9,362 S.F.	54,139 S.F.
Mezanine				
Basement				
Total	54,139 S.F.	0 S.F.	9,362 S.F.	54,139 S.F.

ALLOWABLE AREA

Primary Occupancy Classification(s):

Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business ☐
Educational ☐
Factory ☐ F-1 Moderate ☐ F-2 Low
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional ☐ I-1 ☒ I-2 ☐ I-3 ☐ I-4
☐ I-3 Condition ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5
Mercantile ☐
Residential ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage ☐ S-1 Moderate ☐ S-2 Low ☐ S-3 High-piled
☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage
Utility and Miscellaneous ☐

Accessory Occupancy Classification(s): AS SHOWN ON PLAN

Assembly ☐ A-1 ☒ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business ☒
Educational ☐
Factory ☐ F-1 Moderate ☐ F-2 Low
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4
☐ I-3 Condition ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5
Mercantile ☐
Residential ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage ☒ S-1 Moderate ☐ S-2 Low ☐ S-3 High-piled
☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage
Utility and Miscellaneous ☐

Incidental Uses (Table 509):

Special Uses (Chapter 4 - List Code Selections): SECTION 407

Special Provisions (Chapter 5 - List Code Selections): N/A

Mixed Occupancy: ☐ No ☒ Yes Separation Hr. Exception:

☒ Non-Separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

☐ Separated Use (508.4) - See below for area calcs.
For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A + Actual Area of Occupancy B
Allowable Area of Occupancy A Allowable Area of Occupancy B ≤ 1
+ + + ≤ 1.00

STORY NO.	DESCR AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR FRONTAGE INCREASE 1.5	(D) ALLOWABLE AREA PER STORY OR UNLIMITED 2.3
BUILDING 'A'	1	1-2	24,603 S.F.	38,000 S.F.	38,000 S.F.
BUILDING 'B'	1	1-2	5,591 S.F.	38,000 S.F.	38,000 S.F.
BUILDING 'C'	1	1-2	8,601 S.F.	38,000 S.F.	38,000 S.F.
BUILDING 'D'	1	1-2	15,932 S.F.	38,000 S.F.	38,000 S.F.

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
BUILDING HEIGHT IN FEET (Table 504.3)	50'	12'	TABLE 504.3
BUILDING HEIGHT IN STORIES (Table 504.4)	1	1	TABLE 504.4

FIRE PROTECTION REQUIREMENTS

LIFE SAFETY PLAN SHEET NO., IF PROVIDED

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING	DETAIL NO. AND SHEET NO.	DESIGN NO. FOR RATED ASSEMBLY	DESIGN NO. FOR RATED PENETRATION	DESIGN NO. FOR RATED JOINTS
Structural frame, including columns, girders, and trusses						
Bearing walls						
Exterior	> 30'	0-HR	1-HR		U-425	
North	> 30'	0-HR	1-HR		U-425	
East	> 30'	0-HR	1-HR		U-425	
West	> 30'	0-HR	1-HR		U-425	
South	> 30'	0-HR	1-HR		U-425	
Interior	N/A	0-HR	1-HR		U-305	
Nonbearing walls and partitions						
Exterior walls						
North	> 30'	0-HR	1-HR		U-425	
East	> 30'	0-HR	1-HR		U-425	
West	> 30'	0-HR	1-HR		U-425	
South	> 30'	0-HR	1-HR		U-425	
Interior walls	N/A	0-HR	1-HR		U-305	
Floor construction including supporting beams and joists						
Floor Ceiling Assembly	N/A	N/A	N/A			
Column Supporting Floor	N/A	N/A	N/A			
Roof construction including supporting beams and joists						
Roof Ceiling Assembly	N/A	1-HR	1-HR		RC-2601	
Column Supporting Roof	N/A	1-HR	1-HR		U-305	
Shafts - Exit	N/A	N/A	N/A			
Shafts - Other	N/A	1-HR	1-HR			
Corridor Separation	N/A	0-HR	0-HR		U-305	
Occup./Fire Barrier Sep.	N/A	1-HR	1-HR		U-305	
Party/Fire Wall Sep.	N/A	2-HR	2-HR		U-301	
Smoke Barrier Sep.	N/A	1-HR	1-HR		U-305	
Tenant/Dwelling Unit/Sleeping Unit Separation	N/A	0	0			
Incidental Use Sep.	N/A	1-HR	1-HR		U-305	

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: ☐ No ☒ Yes
Exit Signs: ☐ No ☒ Yes
Fire Alarm: ☐ No ☒ Yes
Smoke Detection Systems: ☐ No ☒ Yes ☐ Partial
Panic Hardware: ☐ No ☒ Yes

THE CARROLTON OF NASH NURSING FACILITY

Rocky Mount, North Carolina

BUILDING RENOVATIONS

SCHEDULE OF DRAWINGS:

T 1- COVER SHEET - APPENDIX B

ARCHITECTURAL

- A 1- EXISTING COMPOSITE - PARTIAL PLAN
- A 2- CENTER CORE PARTIAL PLAN - TEMPORARY EXITS
- A 3- PARTIAL PLAN - EXISTING CENTER CORE
- A 4- PARTIAL PLAN - CENTER CORE DEMOLITION
- A 5- PARTIAL PLAN - RENOVATED CENTER CORE / INTERIOR ELEVATIONS
- A 6- CEILING PLAN - PARTIAL PLAN - CENTER CORE
- A 7- INTERIOR ELEVATIONS
- A 8- ROOM FINISHED SCHEDULE / DOOR AND FRAME SCHEDULE / MISC. CONSTRUCTION DETAILS

PLUMBING

- P 1- PARTIAL PLUMBING PLAN / SPECIFICATIONS
- P 2- PARTIAL PLUMBING PLAN - DEMOLITION
- P 3- PARTIAL PLUMBING PLAN - RENOVATION

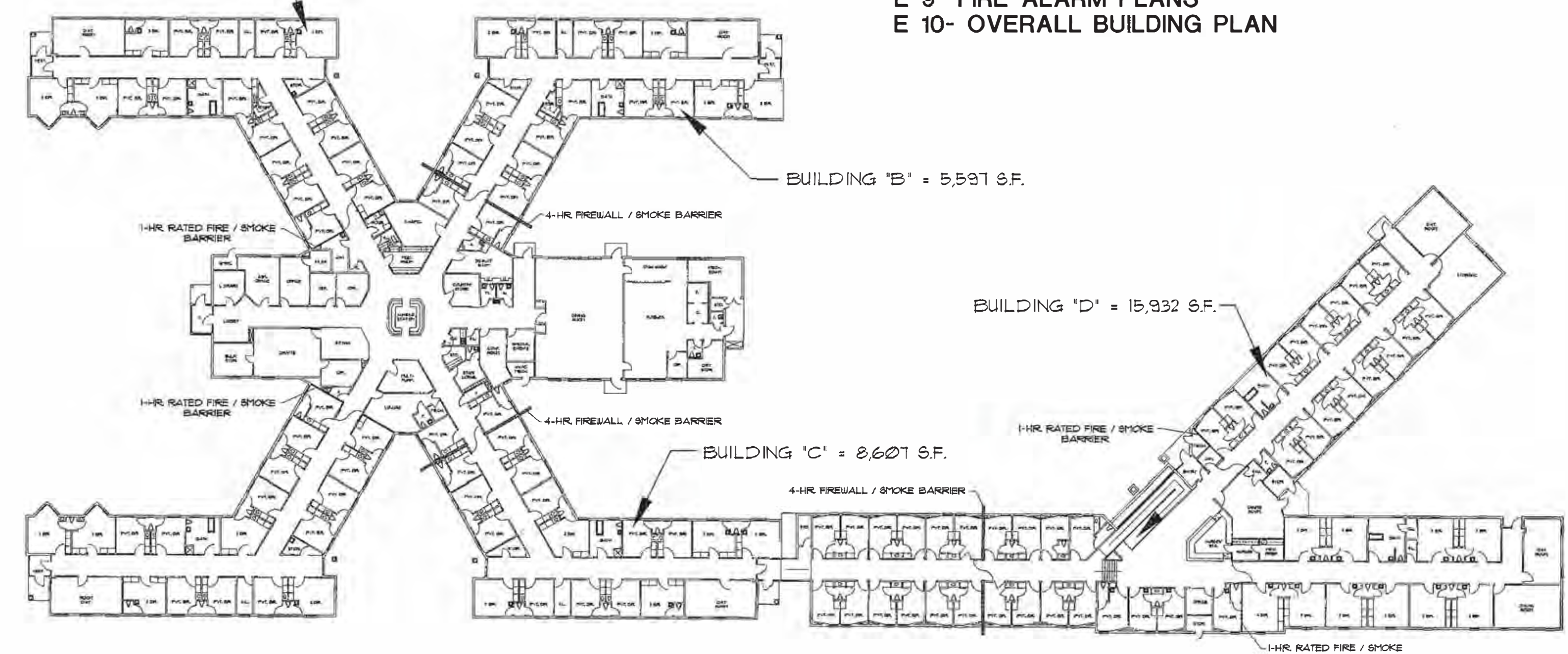
MECHANICAL

- M 1- PARTIAL MECHANICAL PLAN
- M 2- PARTIAL PLUMBING PLAN - DEMOLITION
- M 3- PARTIAL PLUMBING PLAN - RENOVATION
- M 4- PARTIAL VENTILATION PLAN
- M 5- MECHANICAL SCHEDULES / SPECIFICATIONS

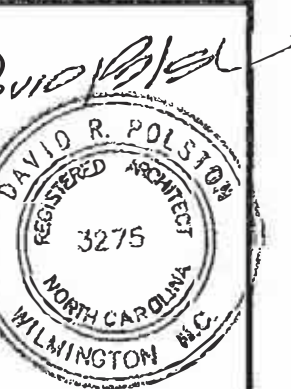
ELECTRICAL

- E 1- PARTIAL LIGHTING PLAN
- E 2- PARTIAL LIGHTING PLAN - DEMOLITION
- E 3- PARTIAL LIGHTING PLAN - RENOVATION
- E 4- PARTIAL POWER PLAN
- E 5- PARTIAL POWER PLAN - DEMOLITION
- E 6- PARTIAL POWER PLAN - RENOVATION
- E 7- ELECTRICAL SCHEDULES / RISER / SPECIFICATIONS
- E 8- NURSE CALL / DOOR SECURITY / P.A. SYSTEM PLANS
- E 9- FIRE ALARM PLANS
- E 10- OVERALL BUILDING PLAN

BUILDING 'A' = 24,603 S.F.



COMPOSITE PLAN SQUARE FOOTAGES



2-24-2025

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NURSING FACILITY
Rocky Mount, North Carolina

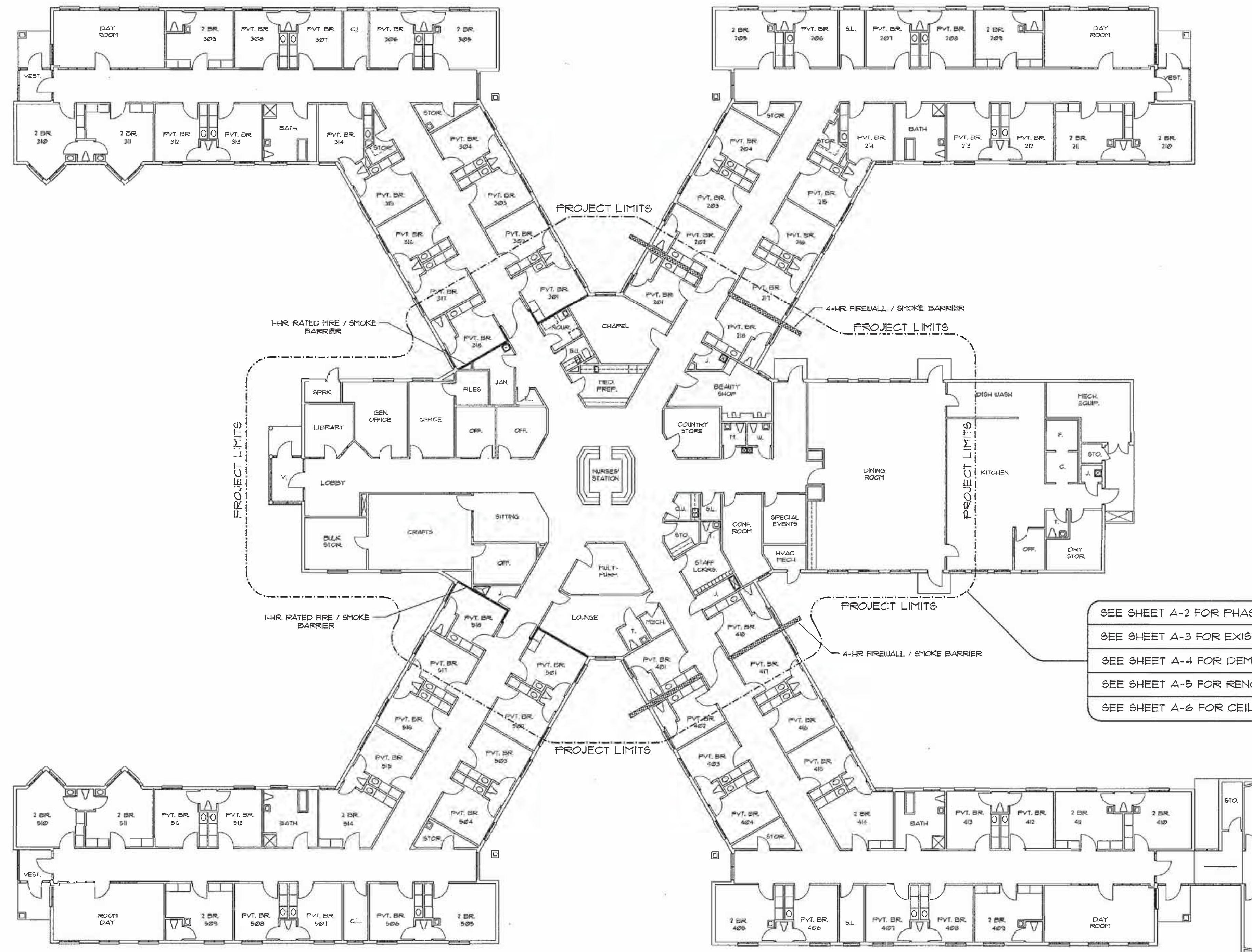
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Architecture Planning Design

BUILDING
RENOVATIONS

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RESIDENT BEDROOMS WING '300'
6,180 S.F. SMOKE COMPARTMENT

RESIDENT BEDROOMS WING '200'
5,591 S.F. SMOKE COMPARTMENT



RESIDENT BEDROOMS WING '500'
6,180 S.F. SMOKE COMPARTMENT

RESIDENT BEDROOMS WING '400'
5,604 S.F. SMOKE COMPARTMENT (TO NEXT 4-HR FIREWALL)

101 FLOOR PLAN
SCALE: 1/16" = 1'-0" PARTIAL EXISTING COMPOSITE PLAN - PROJECT LIMITS

PROJECT SCOPE:

RENOVATE EXISTING ENTRY CENTER CORE AS DETAILED ON ARCHITECTURAL SHEETS A-3, A-4, AND A-5 TO CREATE NEW OPEN COMMON AREAS. NO WORK REQUIRED IN EXISTING RESIDENTS' BEDROOMS EXCEPT AS DETAILED ON SHEET A-2 FOR THE DEVELOPMENT OF TEMPORARY EGRESS EXITS DURING THE RENOVATIONS TIME PERIOD.

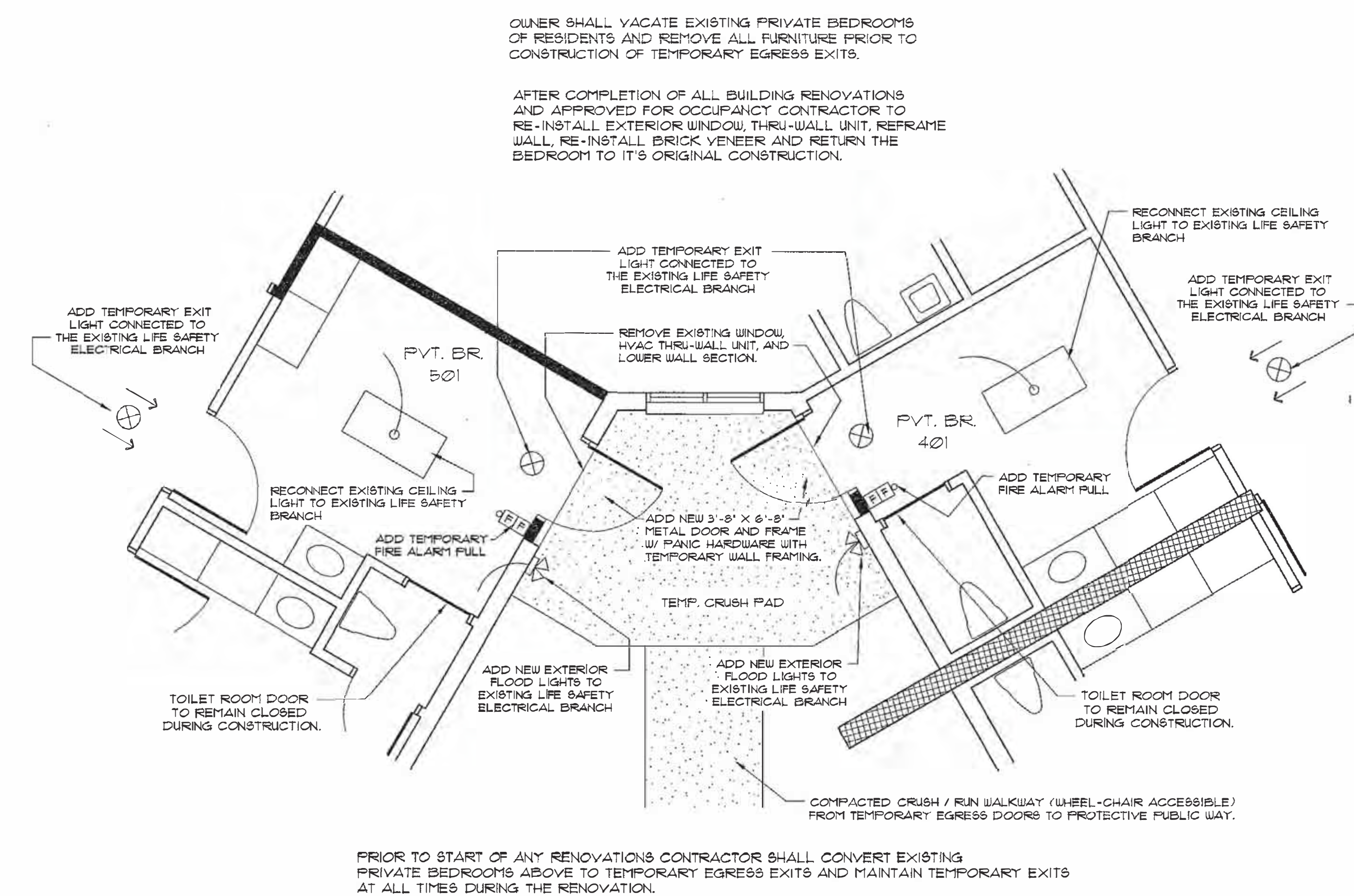
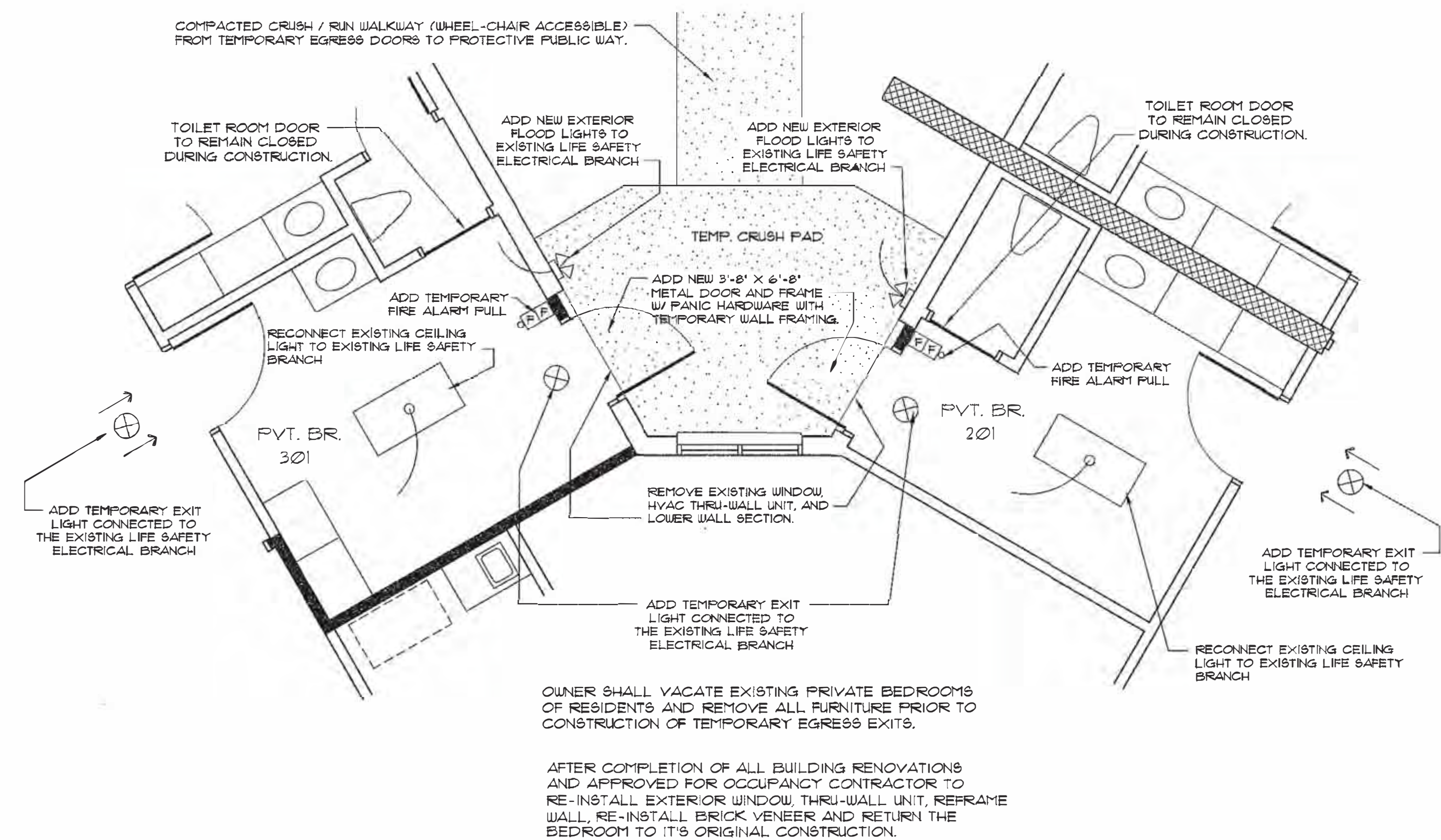
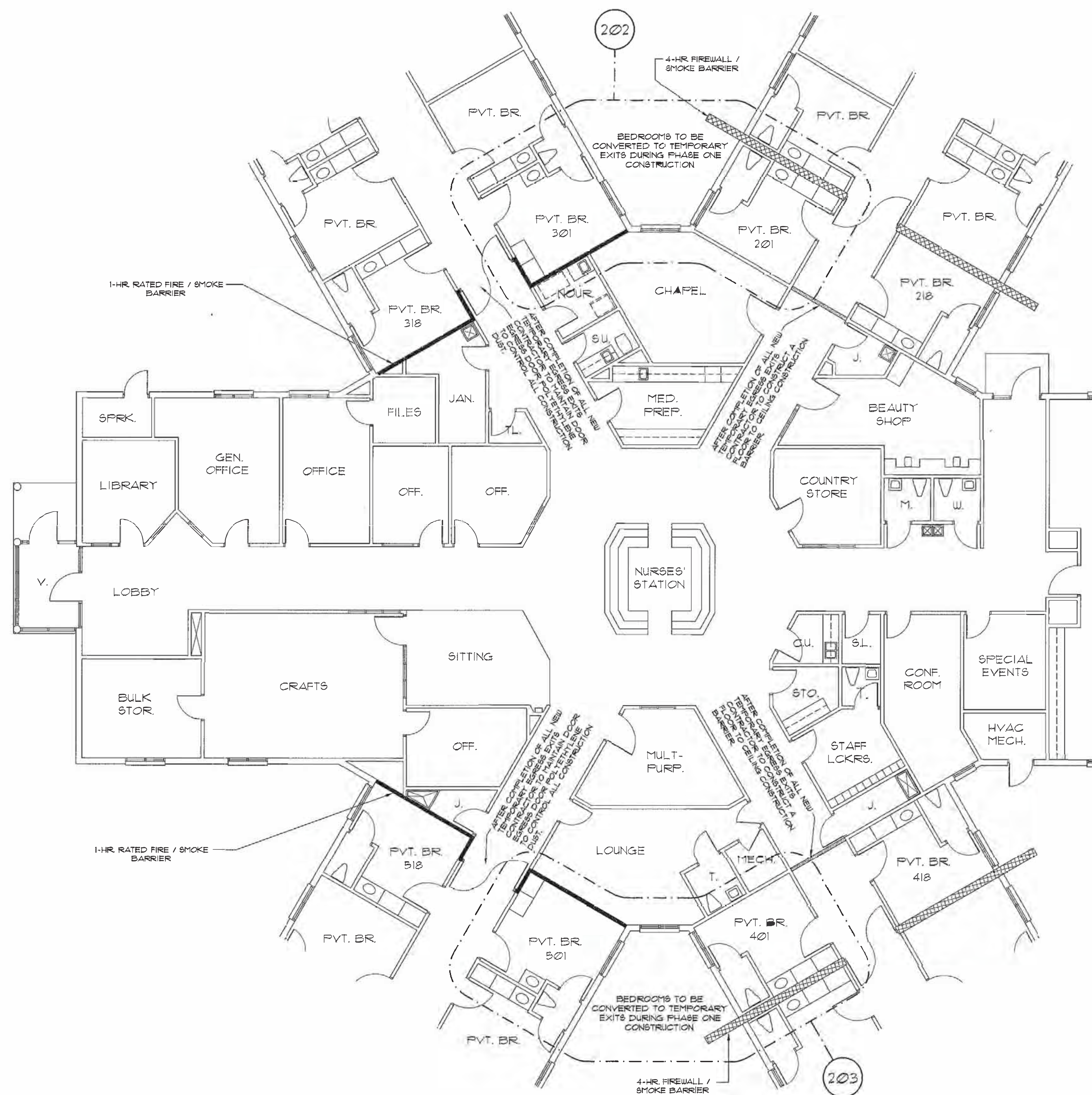
PROJECT DEVELOPMENT SEQUENCE:

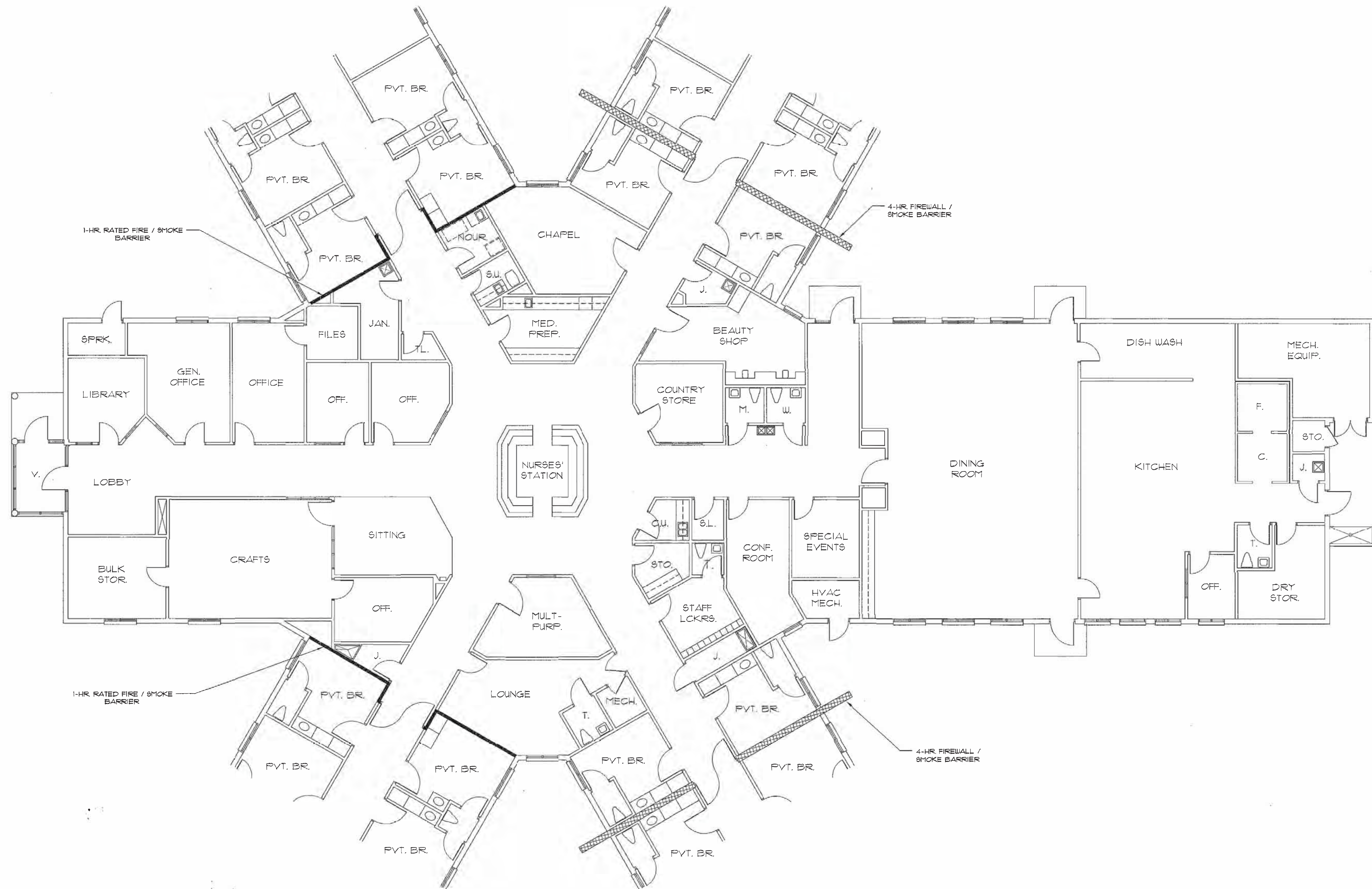
1. THE FACILITY SHALL RELOCATE 4 RESIDENTS FROM 4 RESIDENTIAL PRIVATE BEDROOMS * 201, * 301, * 401, AND * 501 TO CURRENTLY UNOCCUPIED BEDROOMS * 510 AND * 511 PRIOR TO THE START OF RENOVATIONS.
2. GENERAL CONTRACTOR TO COMPLETE ALL WORK REQUIRED TO PROVIDE TEMPORARY SECOND EGRESS EXIT FOR WINGS '200', '300', '400' AND '500' AS DETAILED ON SHEET A-2. CONTRACTOR TO PROVIDE COMPACTED CRUSH / RUN WALKWAY (WHEEL-CHAIR ACCESSIBLE) FROM TEMPORARY EGRESS DOORS TO PROTECTIVE PUBLIC WAY.
3. AFTER APPROVAL OF TEMPORARY EGRESS BY THE CITY OF ROCKY MOUNT BUILDING INSPECTOR AND FIRE MARSHALL, CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION BARRIERS ACROSS CORRIDORS 200 AND 400. CONTRACTOR TO ALSO CLOSE THE CROSS-CORRIDOR DOORS (SMOKE BARRIERS) IN CORRIDORS 300 AND 500. TEMPORARY CONSTRUCTION BARRIERS AND CROSS-CORRIDOR DOORS SHALL BE SEALED TO PREVENT THE MIGRATION OF CONSTRUCTION DUST FROM ENTERING THE RESIDENT BEDROOM WINGS. CONTRACTOR SHALL MAINTAIN THE TEMPORARY CONSTRUCTION BARRIERS AND CLOSURE OF THE CROSS-CORRIDOR DOORS UNTIL ALL RENOVATION WORK IS APPROVED BY THE CITY OF ROCKY MOUNT AND DHSR CONSTRUCTION SECTION.
4. GENERAL CONTRACTOR SHALL COMPLETE ALL WORK SHOWN ON THE ARCHITECTURAL AND ENGINEERING DRAWINGS.
5. AT THE END OF RENOVATIONS THE GENERAL CONTRACTOR SHALL OBTAIN A CERTIFICATE OF OCCUPANCY FROM THE CITY OF ROCKY MOUNT. AFTER THE CITY OF ROCKY MOUNT APPROVAL, CONTRACTOR TO OBTAIN FINAL OCCUPANCY APPROVAL FROM DHSR CONSTRUCTION SECTION.
6. AFTER DHSR CONSTRUCTION APPROVAL, GENERAL CONTRACTOR TO REMOVE BOTH TEMPORARY CONSTRUCTION BARRIERS AND UNSEAL BOTH SETS OF CROSS-CORRIDOR DOORS.
7. THE FINAL STEP THE GENERAL CONTRACTOR SHALL REMOVE ALL TEMPORARY EGRESS MEASURES FROM BEDROOMS * 201, * 301, * 401, AND * 501. CONTRACTOR TO RE-ESTABLISH THE FOUR BEDROOMS TO THEIR ORIGINAL CONDITIONS.

BUILDING DATA:

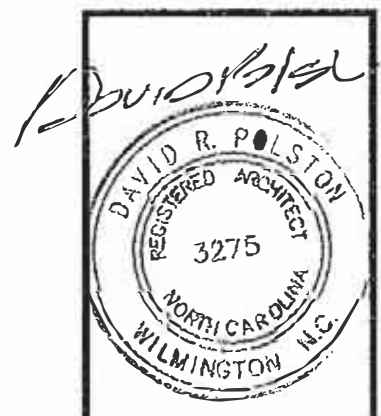
CURRENT OCCUPANCY: I-2

NCBSC CONSTRUCTION TYPE VA
SPRINKLED PER NFPA 13.





301 **FLOOR PLAN** PARTIAL PLAN - EXISTING CENTER CORE
 SCALE: 1/8" = 1'-0"



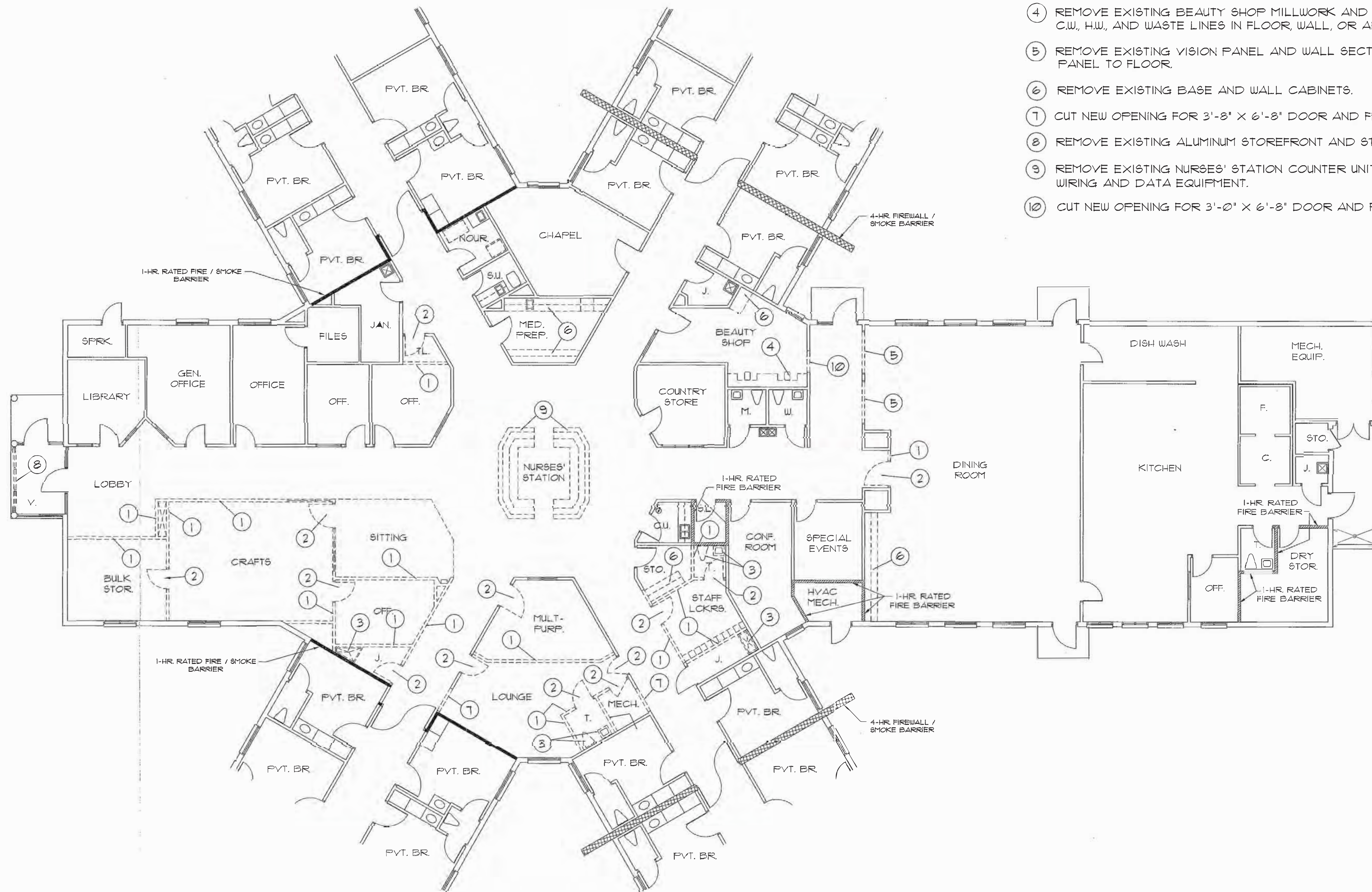
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 Rocky Mount, North Carolina

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 Architecture Planning Design

**BUILDING
 RENOVATIONS**

**A
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DEMOLITION PLAN NOTE:

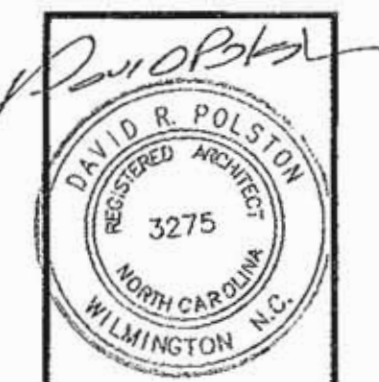
- ① REMOVE EXISTING WOOD STUDS / G.W.B. PARTITION FROM FLOOR TO CEILING (8'-0"). PATCH EXISTING CEILING WITH (2) LAYERS OF 5/8" FIRECODE G.W.B. TO MAINTAIN ONE HOUR ROOF / CEILING ASSEMBLY.
- ② REMOVE EXISTING DOOR AND FRAME.
- ③ REMOVE EXISTING PLUMBING FIXTURES, CAP ALL C.W., H.W., AND WASTE LINES IN FLOOR, WALL, OR ABOVE CEILING.
- ④ REMOVE EXISTING BEAUTY SHOP MILLWORK AND SINK. CAP ALL C.W., H.W., AND WASTE LINES IN FLOOR, WALL, OR ABOVE CEILING.
- ⑤ REMOVE EXISTING VISION PANEL AND WALL SECTION BELOW VISION PANEL TO FLOOR.
- ⑥ REMOVE EXISTING BASE AND WALL CABINETS.
- ⑦ CUT NEW OPENING FOR 3'-8" X 6'-8" DOOR AND FRAME.
- ⑧ REMOVE EXISTING ALUMINUM STOREFRONT AND STOREFRONT DOOR.
- ⑨ REMOVE EXISTING NURSES' STATION COUNTER UNITS WITH ELECTRICAL WIRING AND DATA EQUIPMENT.
- ⑩ CUT NEW OPENING FOR 3'-0" X 6'-8" DOOR AND FRAME.

401

FLOOR PLAN

SCALE: 1/8" = 1'-0"

PARTIAL PLAN - CENTER CORE DEMOLITION PLAN



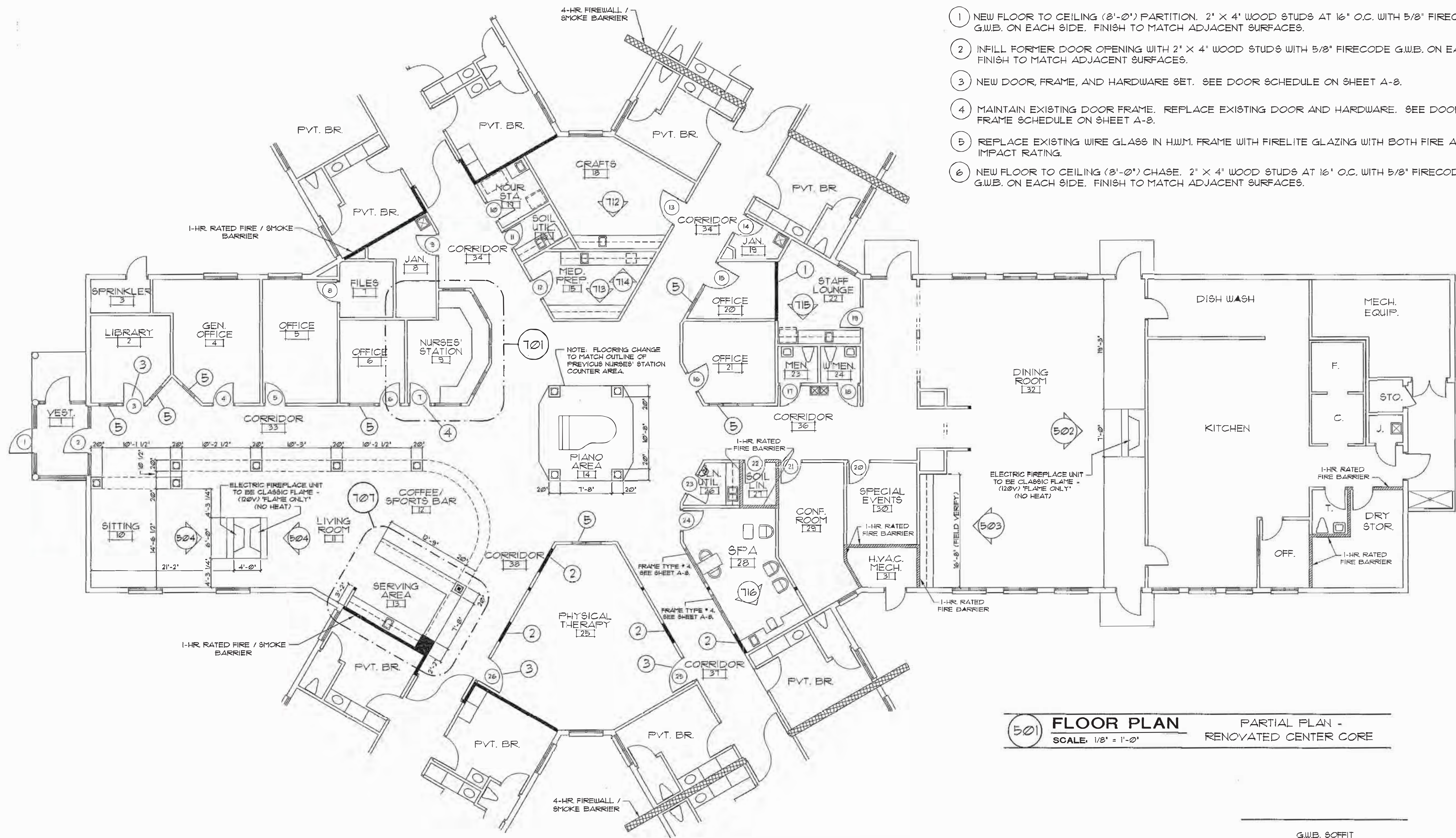
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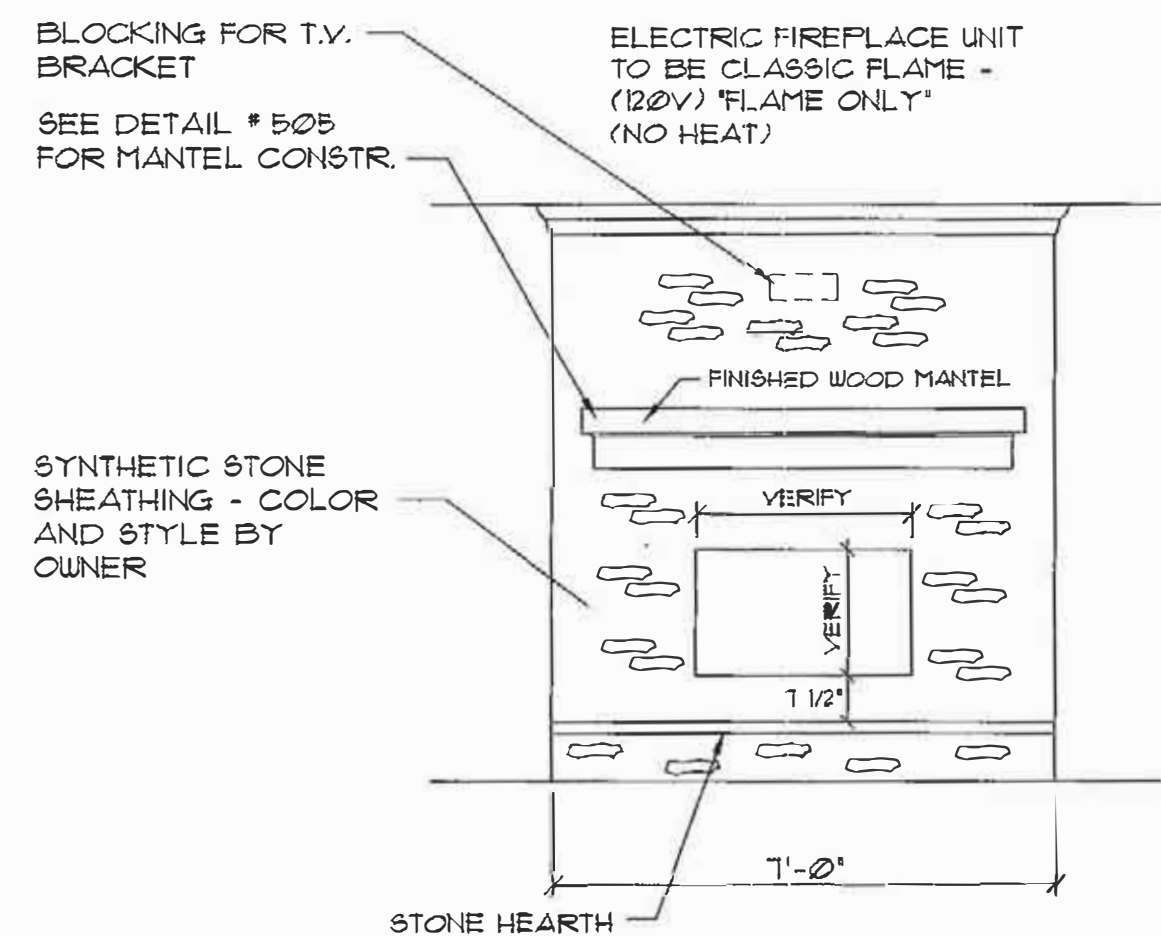
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BUILDING
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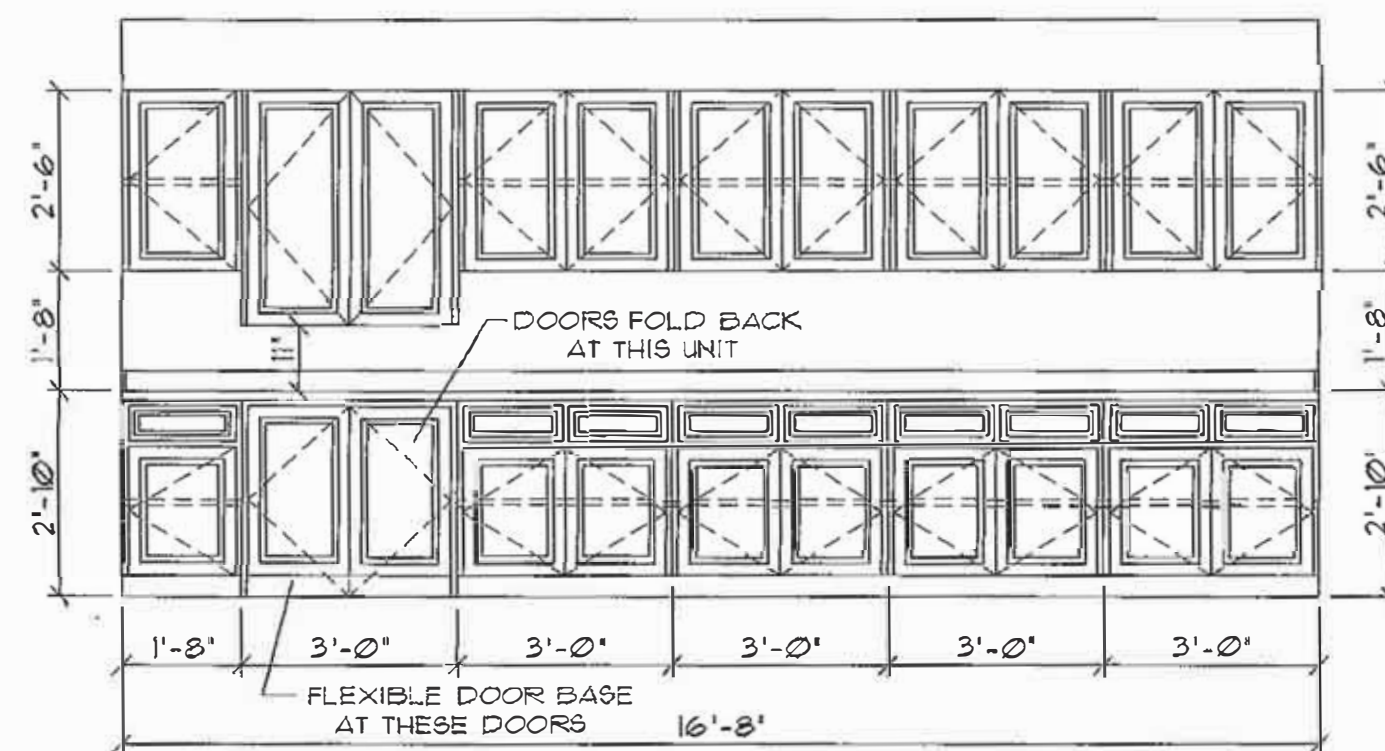
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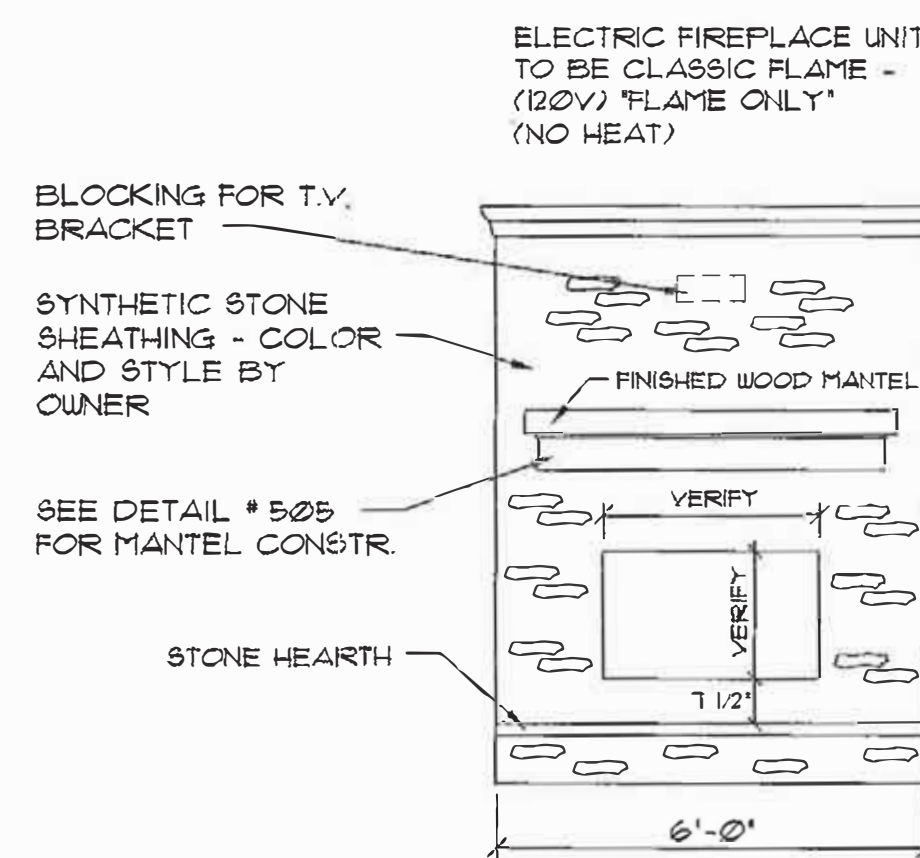
501 FLOOR PLAN PARTIAL PLAN -
SCALE: 1/8" = 1'-0" RENOVATED CENTER CORE



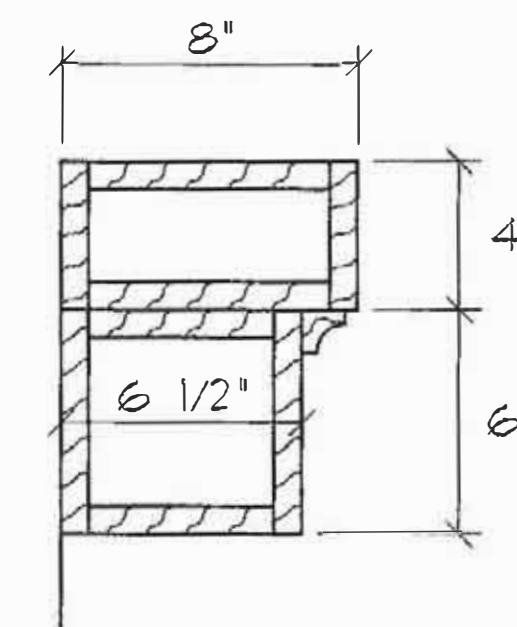
502 ELEVATION DINING ROOM # 32
SCALE: 3/8" = 1'-0"



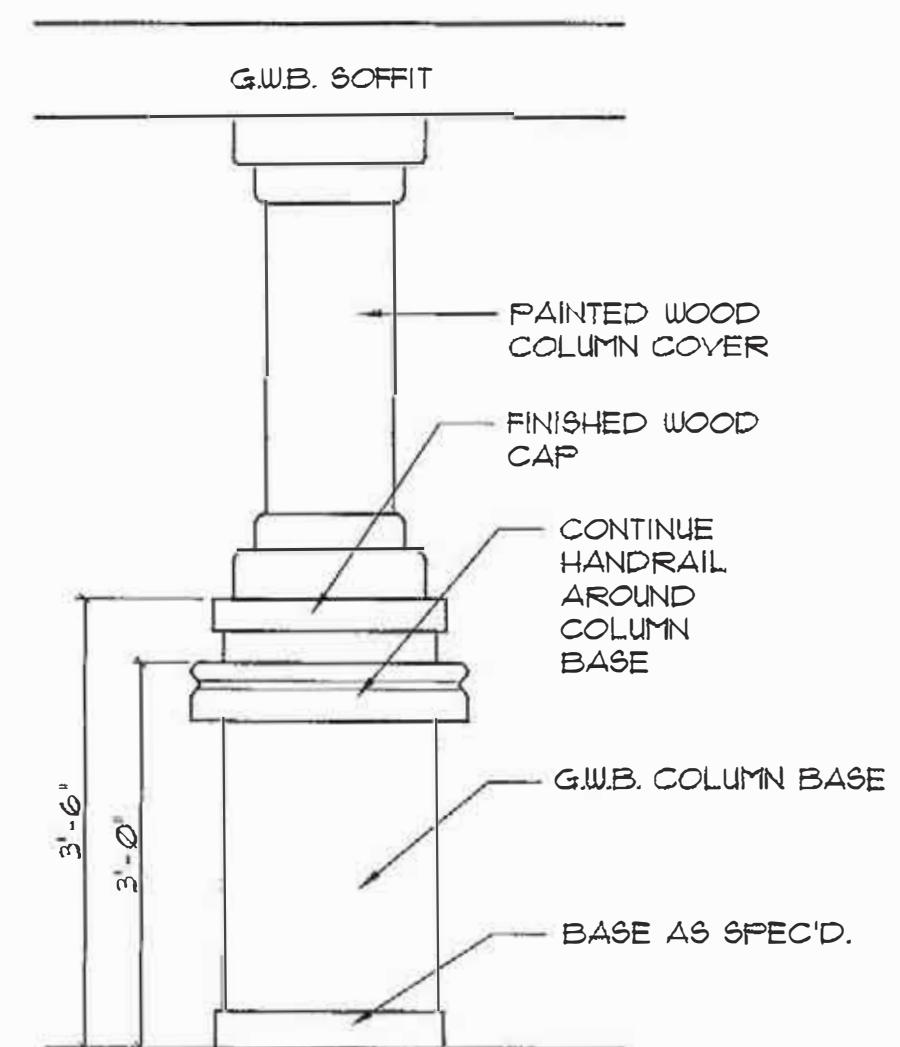
503 ELEVATION DINING ROOM # 32
SCALE: 3/8" = 1'-0"



504 ELEVATION SITTING # 10 /
SCALE: 3/8" = 1'-0" LIVING ROOM # 11



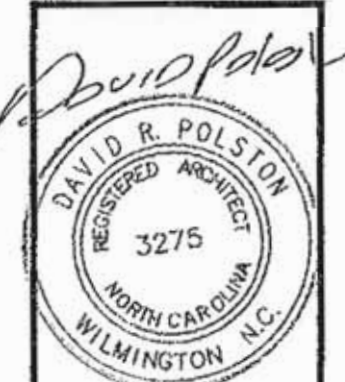
505 DETAIL MANTEL
SCALE: N.T.S. SECTION



506 DETAIL TYP. INTERIOR
SCALE: N.T.S. COLUMN

RENOVATION NOTES:

- 1 NEW FLOOR TO CEILING (8'-0") PARTITION. 2" X 4" WOOD STUDS AT 16" O.C. WITH 5/8" FIRECODE G.W.B. ON EACH SIDE. FINISH TO MATCH ADJACENT SURFACES.
- 2 INFILL FORMER DOOR OPENING WITH 2" X 4" WOOD STUDS WITH 5/8" FIRECODE G.W.B. ON EACH SIDE. FINISH TO MATCH ADJACENT SURFACES.
- 3 NEW DOOR, FRAME, AND HARDWARE SET. SEE DOOR SCHEDULE ON SHEET A-8.
- 4 MAINTAIN EXISTING DOOR FRAME. REPLACE EXISTING DOOR AND HARDWARE. SEE DOOR AND FRAME SCHEDULE ON SHEET A-8.
- 5 REPLACE EXISTING WIRE GLASS IN HWY. FRAME WITH FIRELITE GLAZING WITH BOTH FIRE AND IMPACT RATING.
- 6 NEW FLOOR TO CEILING (8'-0") CHASE. 2" X 4" WOOD STUDS AT 16" O.C. WITH 5/8" FIRECODE G.W.B. ON EACH SIDE. FINISH TO MATCH ADJACENT SURFACES.



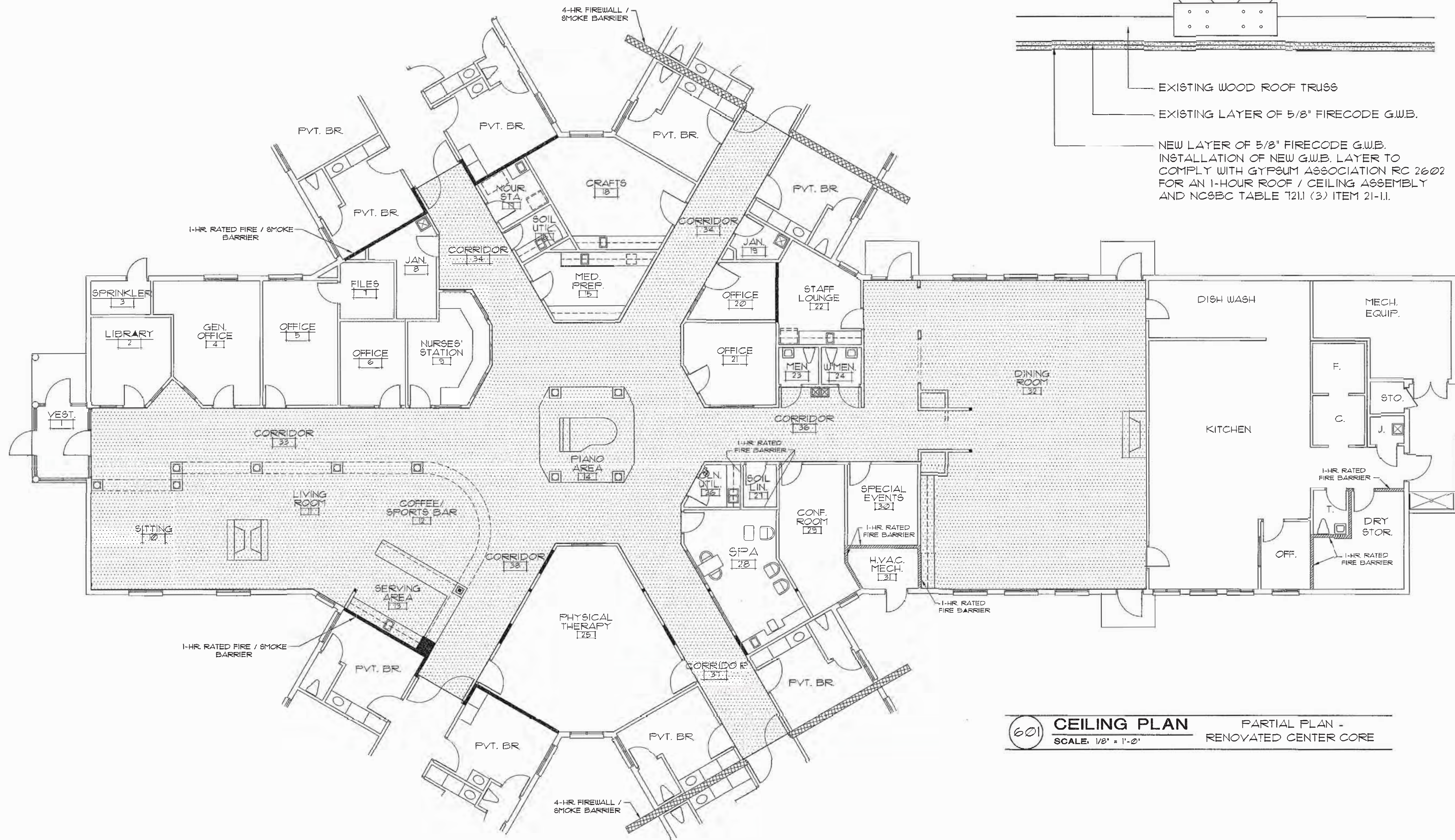
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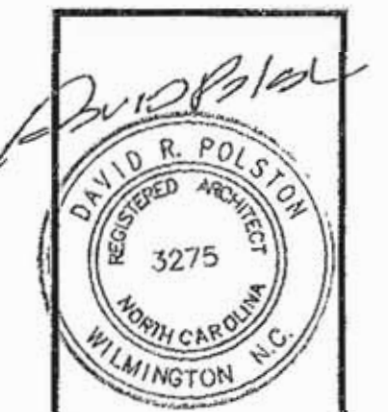
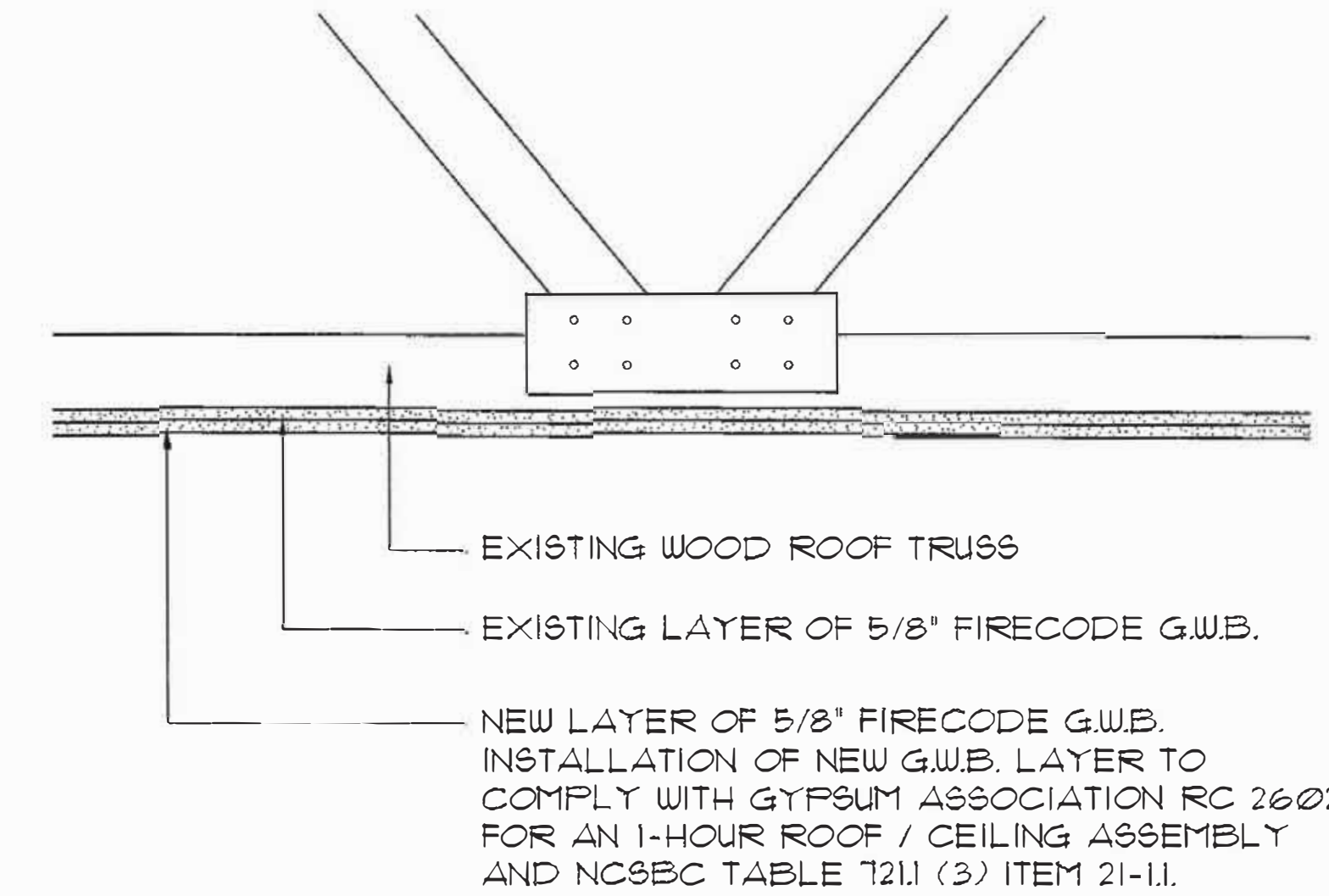


601 CEILING PLAN PARTIAL PLAN -
SCALE: 1/8" = 1'-0" RENOVATED CENTER CORE

CEILING WORK NOTES:

1. SHADED AREA DESIGNATES CORRIDOR AND NEW OPEN AREAS TO THE CORRIDOR TO RECEIVE ADDITIONAL LAYER OF 5/8" FIRECODE G.W.B. ADDED OVER EXISTING CEILING ONE LAYER OF 5/8" FIRECODE G.W.B. TO CREATE AN ONE-HOUR ROOF / CEILING ASSEMBLY.
2. CONTRACTOR TO MAINTAIN LOCATIONS AND PROTECTION OF EXISTING SPRINKLER HEADS TO MAINTAIN COMPLETE COVERAGE OF EXISTING AREAS AS REQUIRED BY NFPA 13.
3. CONTRACTOR TO REFER TO MECHANICAL (H.V.A.C.) PLANS FOR LOCATION OF ALL EXISTING AND NEW AC SUPPLY/RETURN H.V.A.C. DUCT DROPS THRU THE NEW RATED CEILING. ALL H.V.A.C. DUCT DROPS TO BE PROTECTED WITH ONE-HOUR U.L. RATED RADIATION DAMPERS.
4. CONTRACTOR TO REFER TO ELECTRICAL (LIGHTING) PLANS FOR LOCATION OF NEW LIGHTING FIXTURES TO BE INSTALLED AFTER INSTALLATION OF ADDITIONAL LAYER OF G.W.B. ALL NEW WIRING TO BE HOSPITAL GRADE CONDUCTORS OR IN METAL CONDUIT. ALL RECESSED LIGHT FIXTURES PENETRATING THE RATED CEILING MEMBRANE TO HAVE U.L. CERTIFIED ENCLOSURES RATED FOR AN ONE-HOUR HORIZONTAL / CEILING APPLICATION.
5. CONTRACTOR TO REFER TO THE FIRE ALARM DRAWINGS FOR LOCATION OF NEW SMOKE DETECTORS TO COMPLY WITH NFPA 13.
6. ANY ADDITIONAL EQUIPMENT OR DEVICES, INCLUDING ATTIC ACCESS DOORS, SPEAKER BOXES, ETC. SHALL HAVE AN U.L. ONE-HOUR RATING OR BE PROTECTED WITH AN ONE-HOUR RATED ENCLOSURE.

NEW LAYER OF 5/8" FIRECODE G.W.B. TO BE INSTALLED TO OVERLAP THE EXISTING G.W.B. JOINTS. TAPE, MUD, FINISH AND PAINT NEW LAYER OF G.W.B.



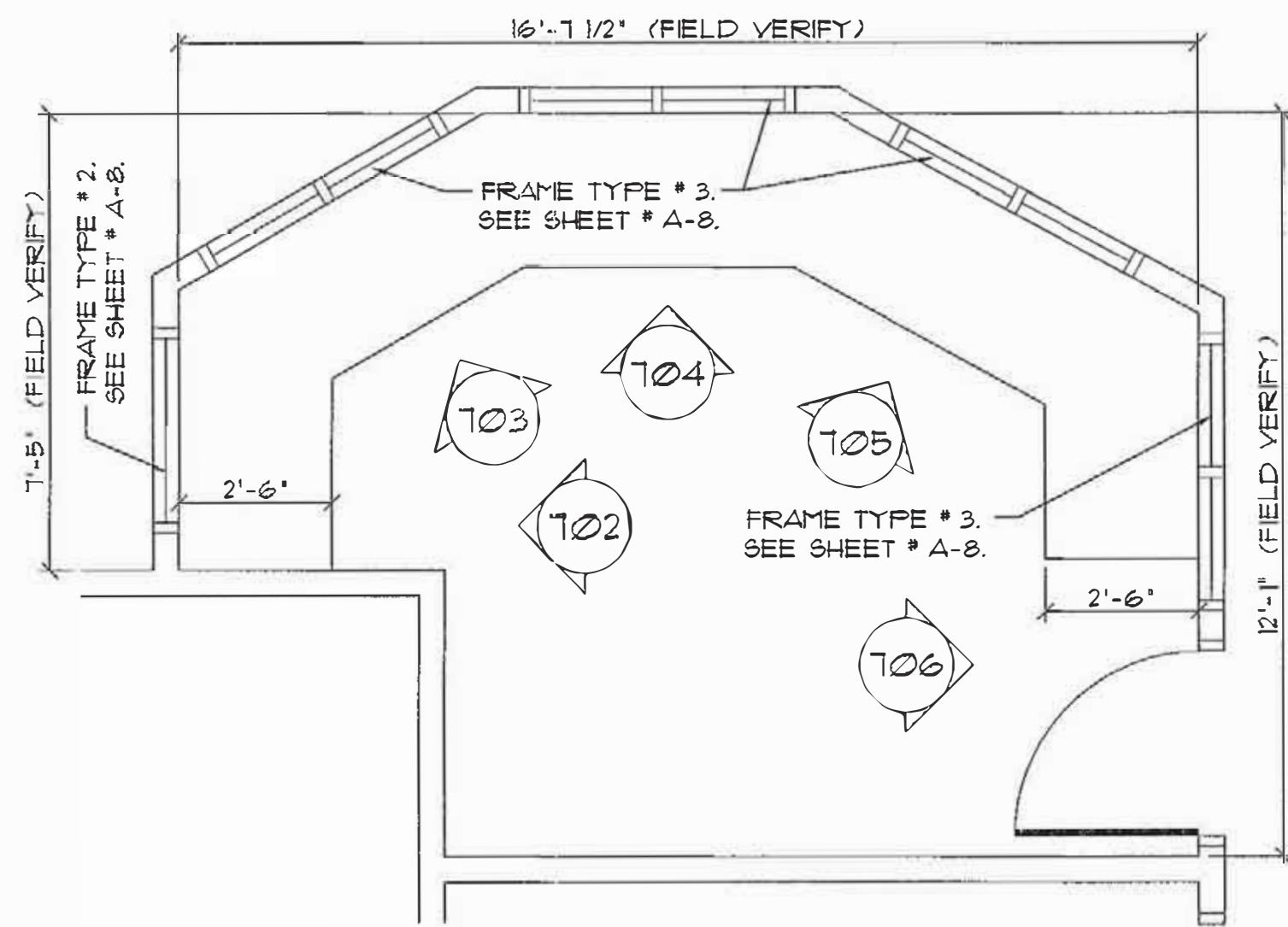
2-24-2025

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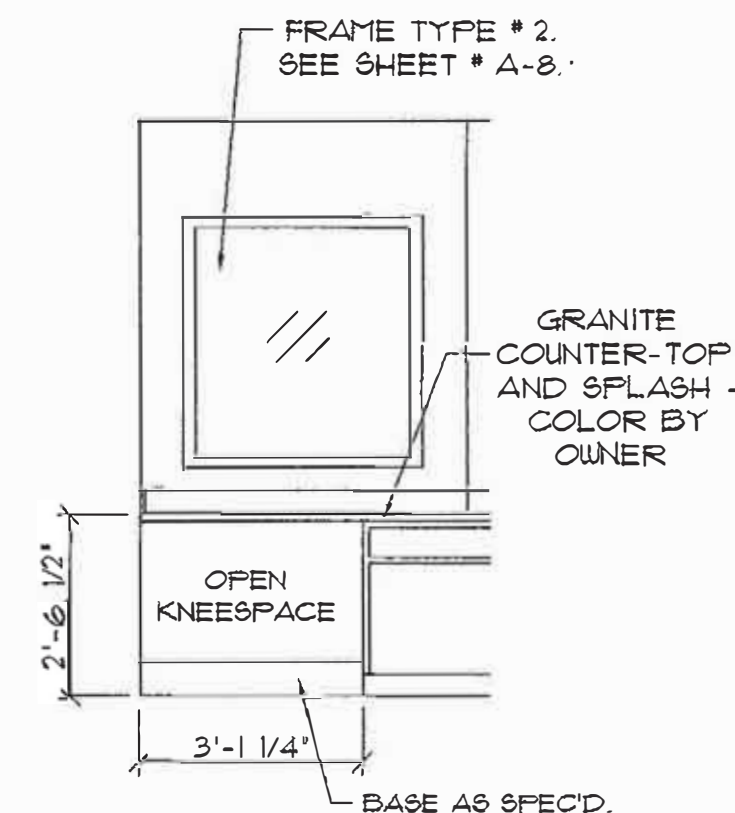
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BUILDING
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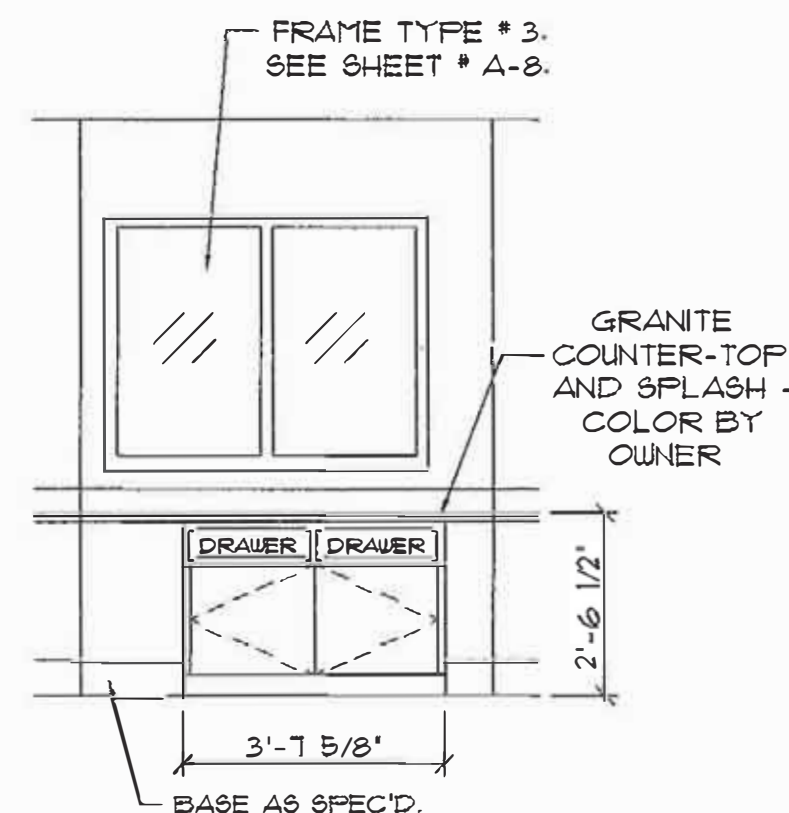
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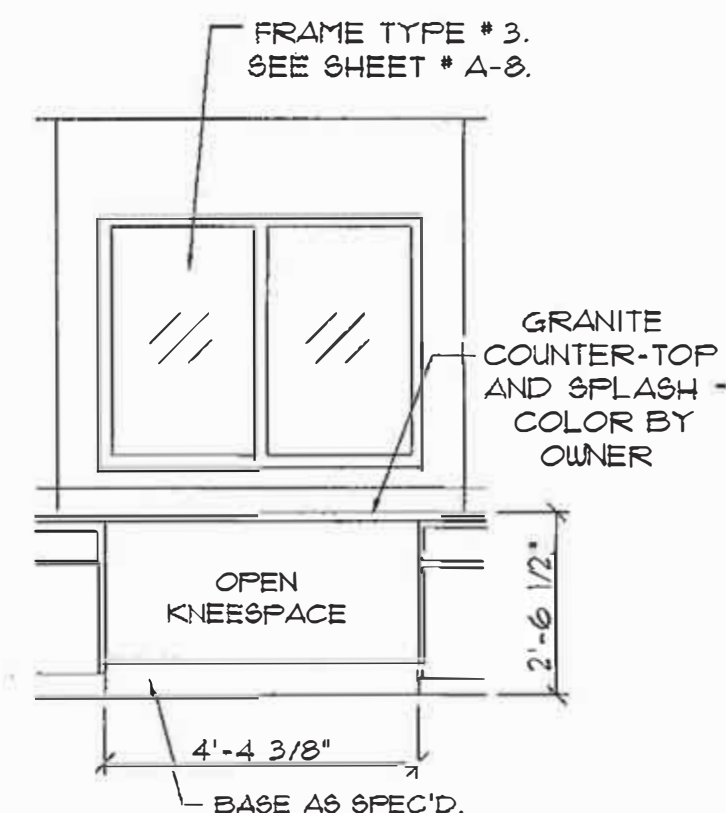
101 FLOOR PLAN NURSES' STATION # 9
SCALE: 3/8" = 1'-0"



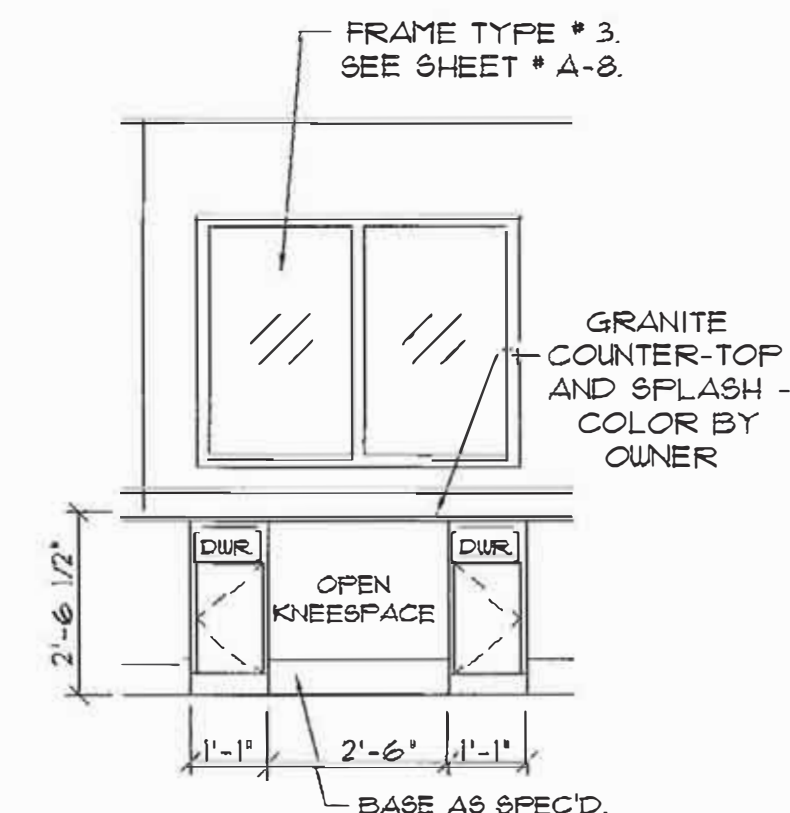
SEE DETAIL # 801 FOR MILLWORK CONSTRUCTION (SIM.).
102 ELEVATION NURSES' STATION # 9
SCALE: 3/8" = 1'-0"



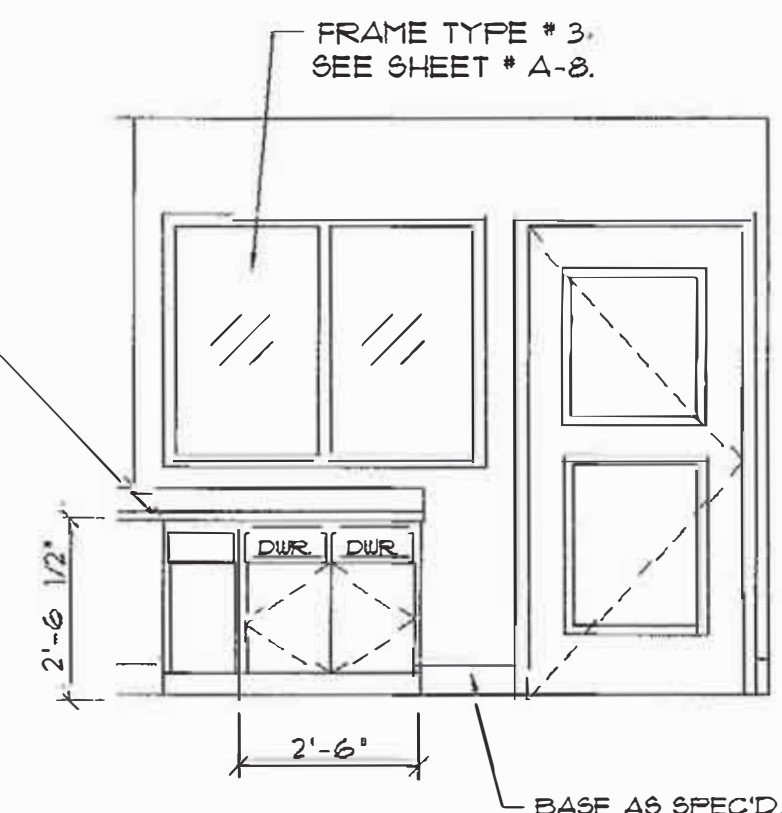
SEE DETAIL # 801 FOR MILLWORK CONSTRUCTION (SIM.).
103 ELEVATION NURSES' STATION # 9
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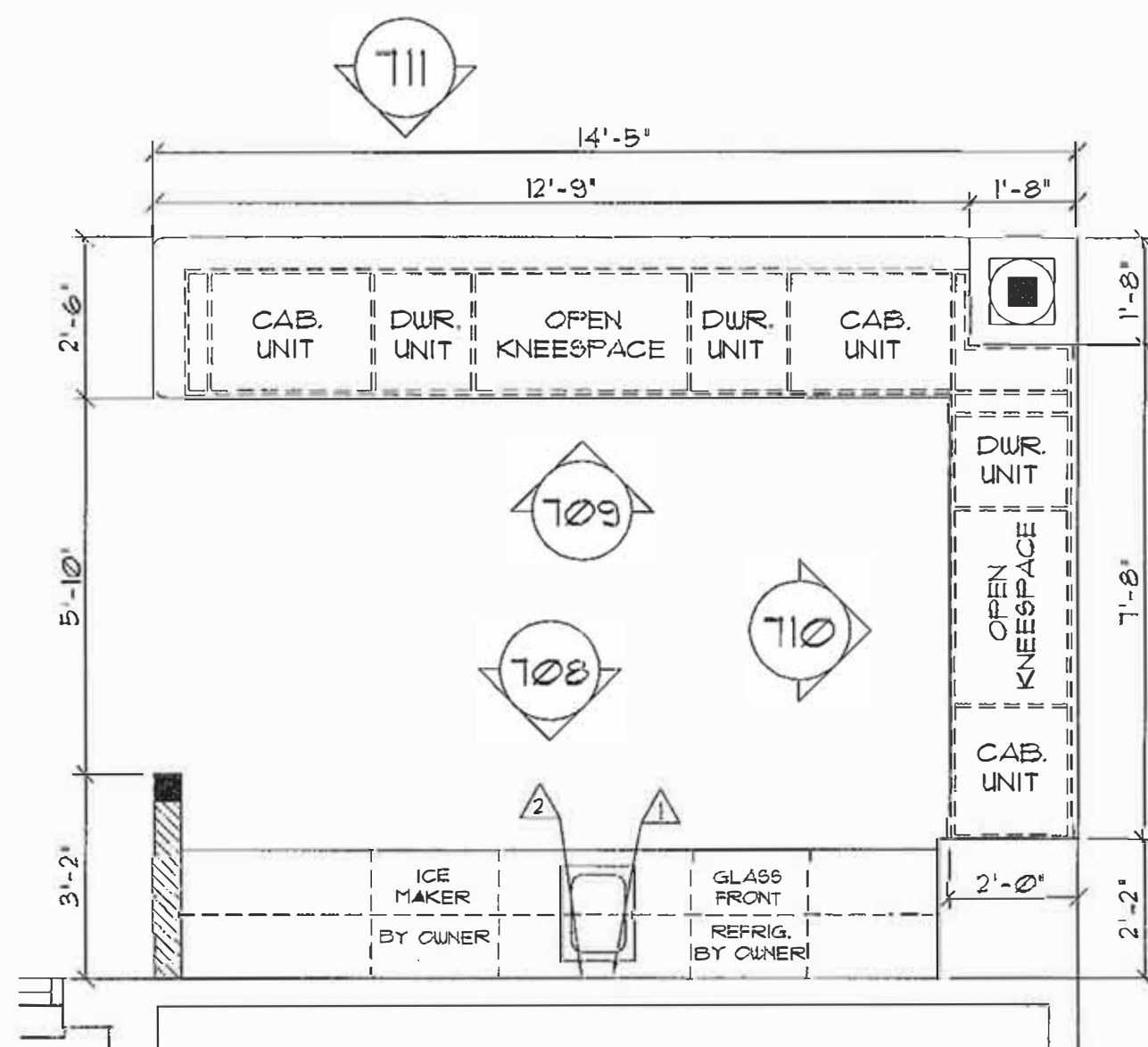
SEE DETAIL # 801 FOR MILLWORK CONSTRUCTION (SIM.).
104 ELEVATION NURSES' STATION # 9
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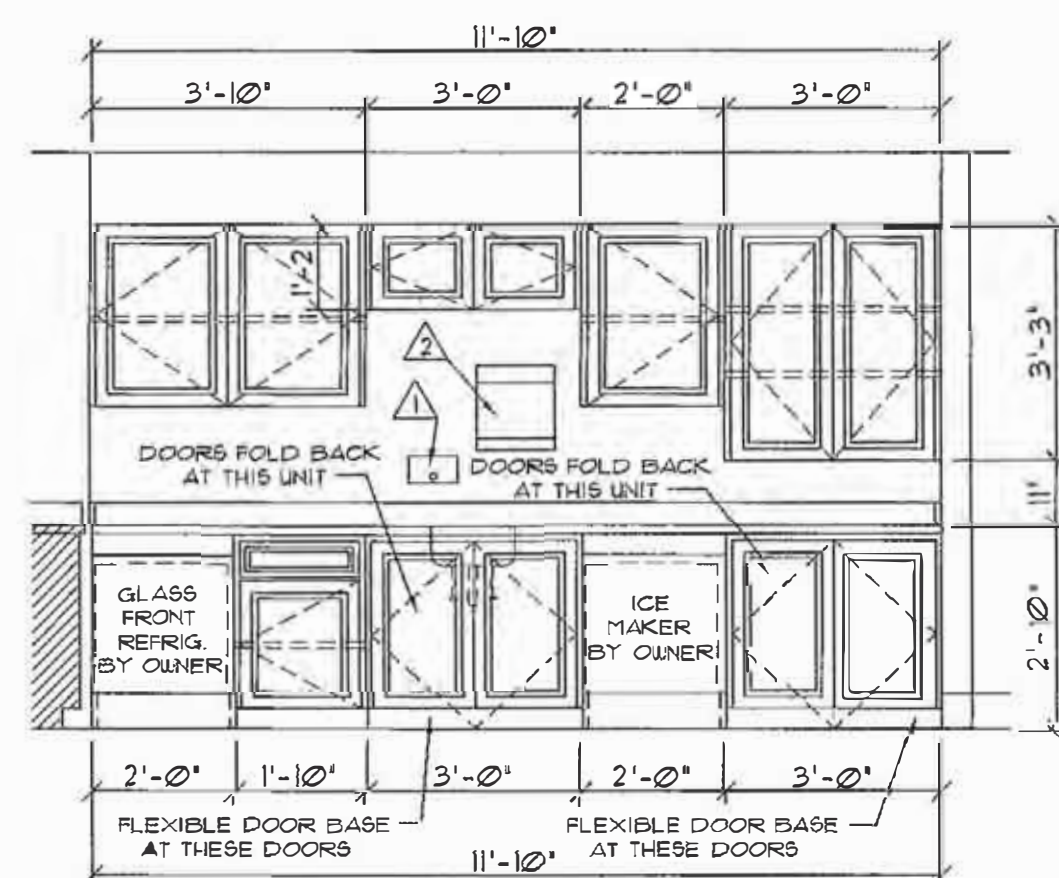
SEE DETAIL # 801 FOR MILLWORK CONSTRUCTION (SIM.).
105 ELEVATION NURSES' STATION # 9
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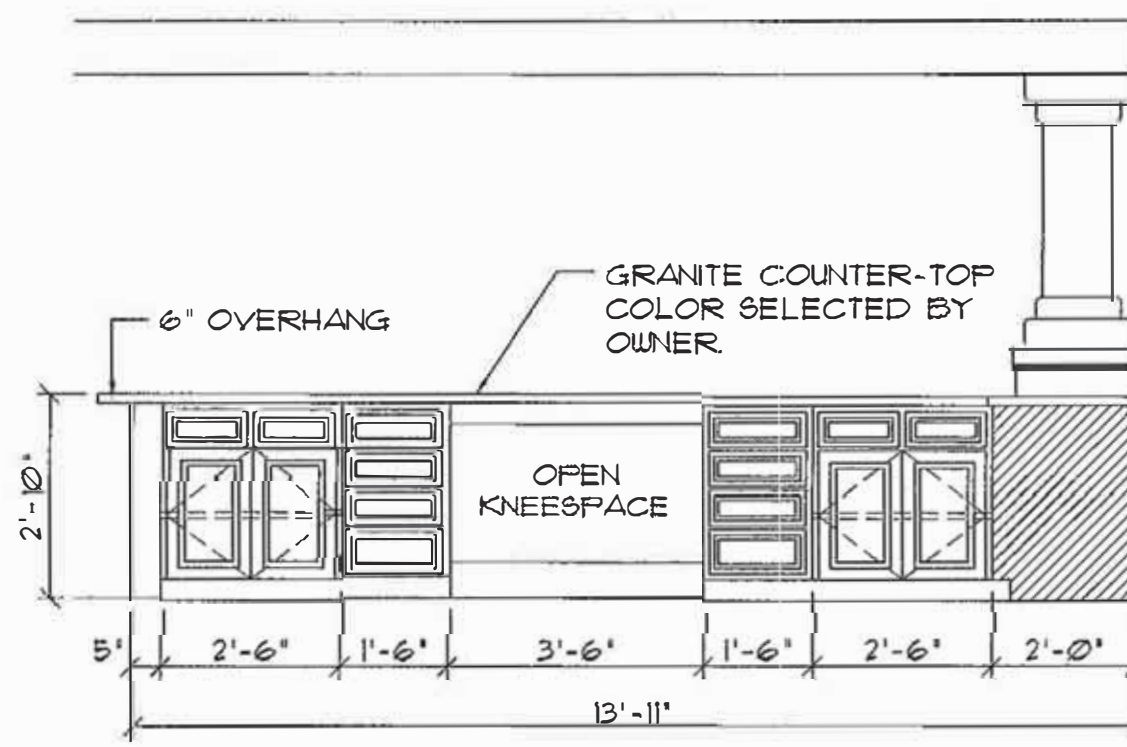
SEE DETAIL # 801 FOR MILLWORK CONSTRUCTION (SIM.).
106 ELEVATION NURSES' STATION # 9
SCALE: 3/8" = 1'-0"



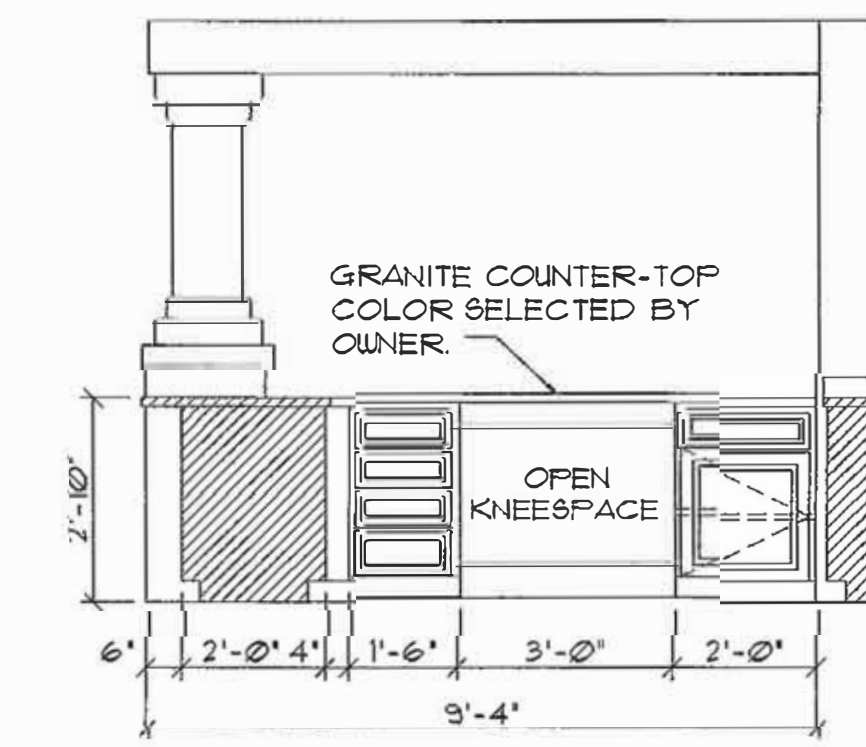
107 FLOOR PLAN SERVING AREA # 13
SCALE: 3/8" = 1'-0"



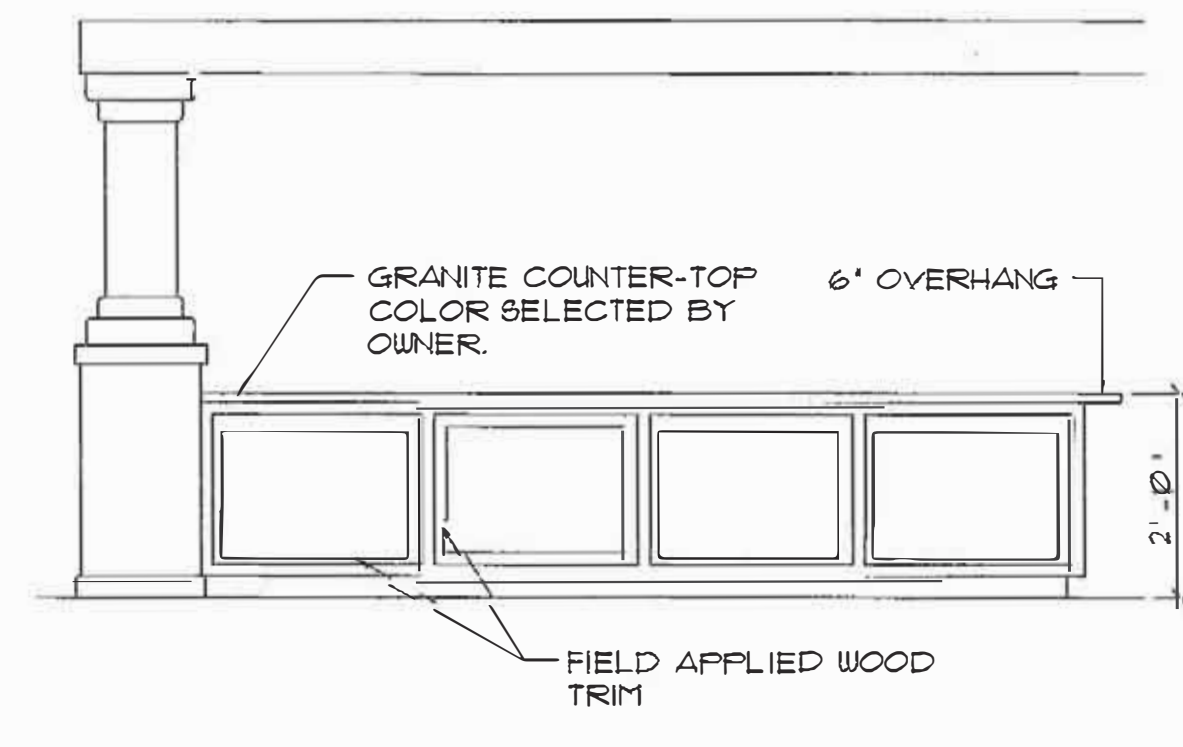
SEE DETAIL # 802 FOR MILLWORK CONSTR.
108 ELEVATION SERVING AREA # 13
SCALE: 3/8" = 1'-0"



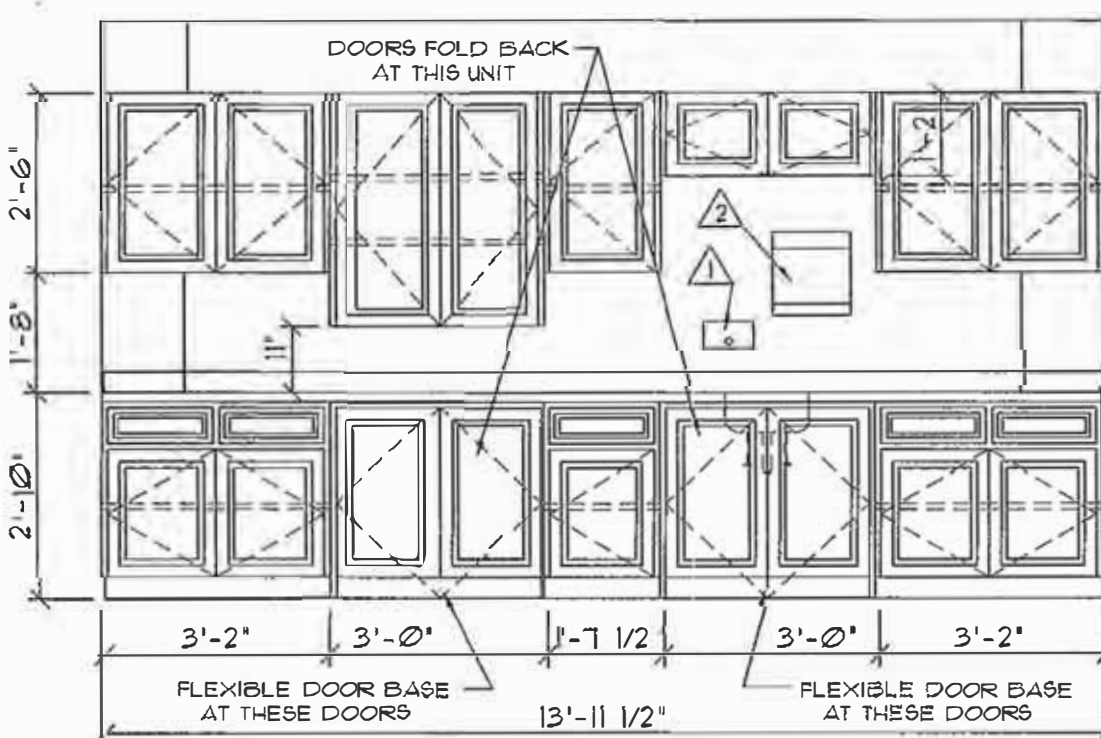
SEE DETAIL # 802 FOR MILLWORK CONSTR.
109 ELEVATION SERVING AREA # 13
SCALE: 3/8" = 1'-0"



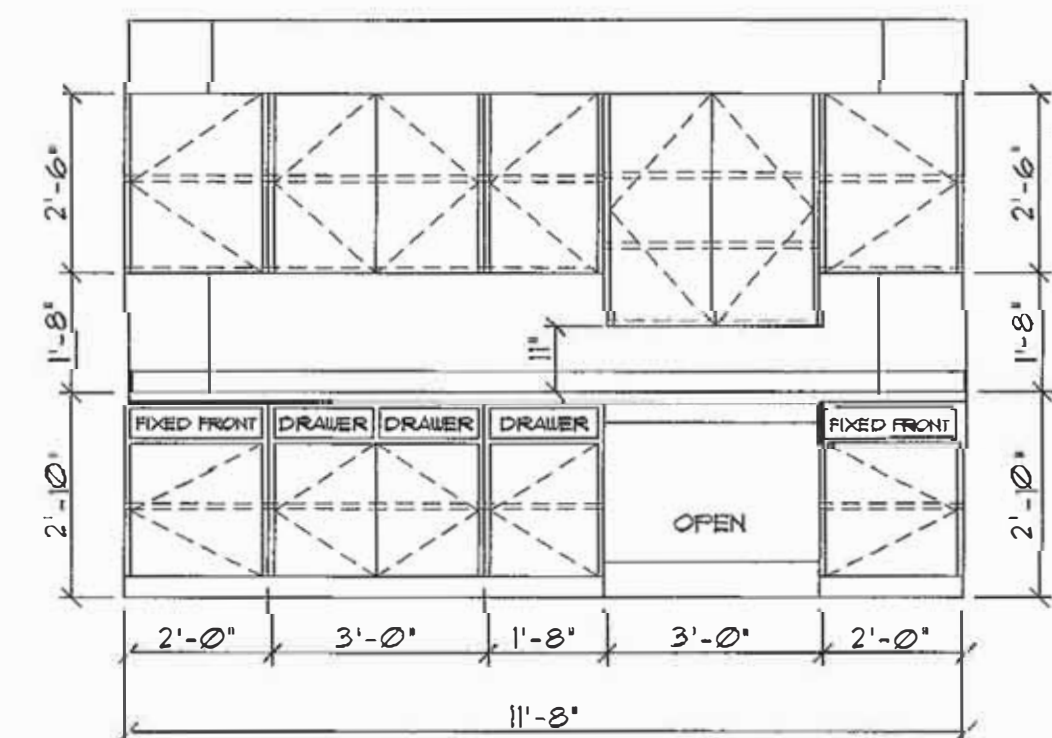
SEE DETAIL # 802 FOR MILLWORK CONSTR.
110 ELEVATION SERVING AREA # 13
SCALE: 3/8" = 1'-0"



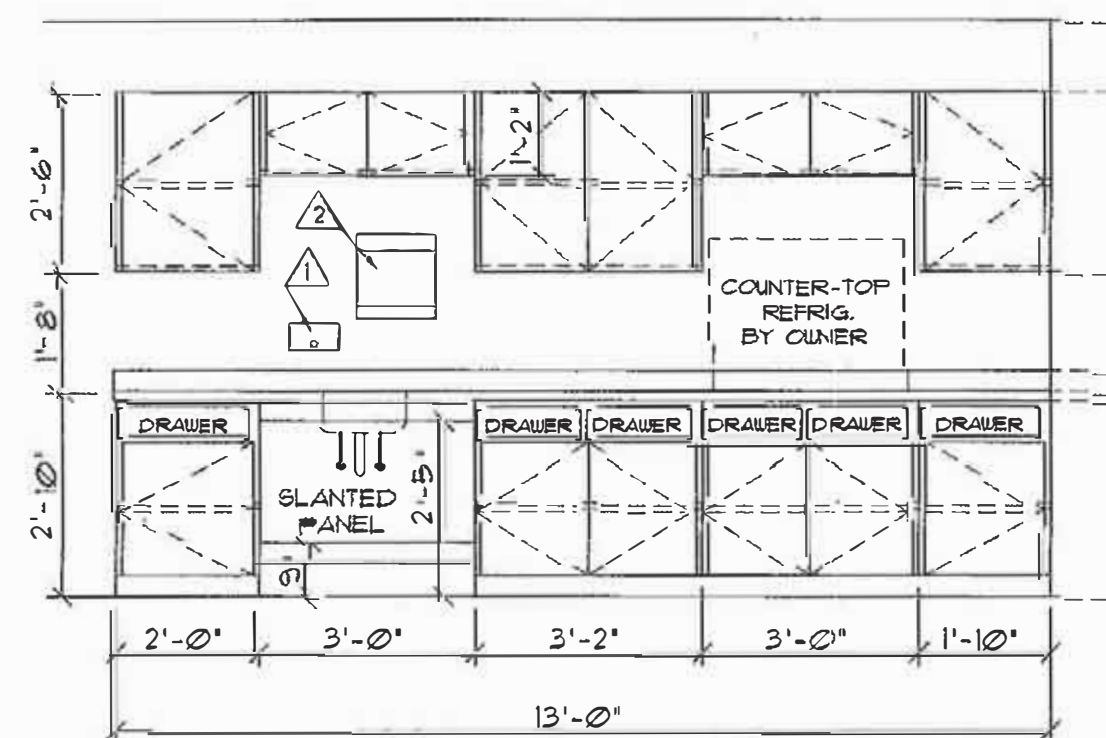
SEE DETAIL # 802 FOR MILLWORK CONSTR.
111 ELEVATION SERVING AREA # 13
SCALE: 3/8" = 1'-0"



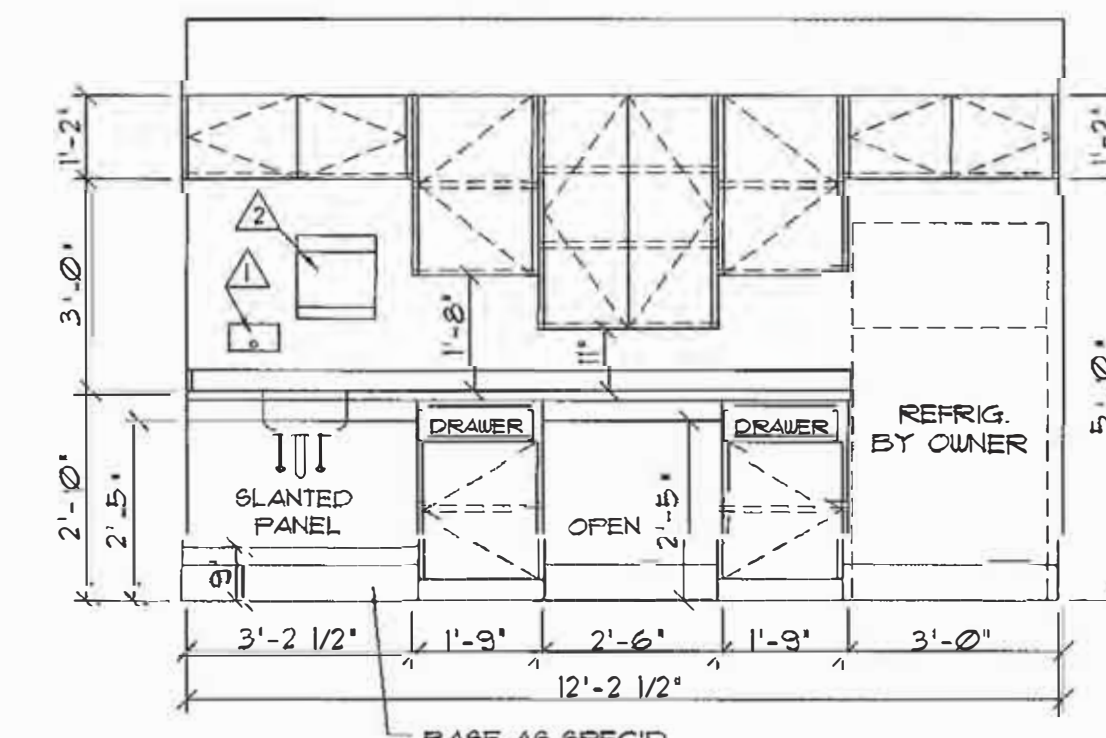
SEE DETAIL # 802 FOR THIS MILLWORK CONSTRUCTION.
112 ELEVATION CRAFTS ROOM # 18
SCALE: 3/8" = 1'-0"



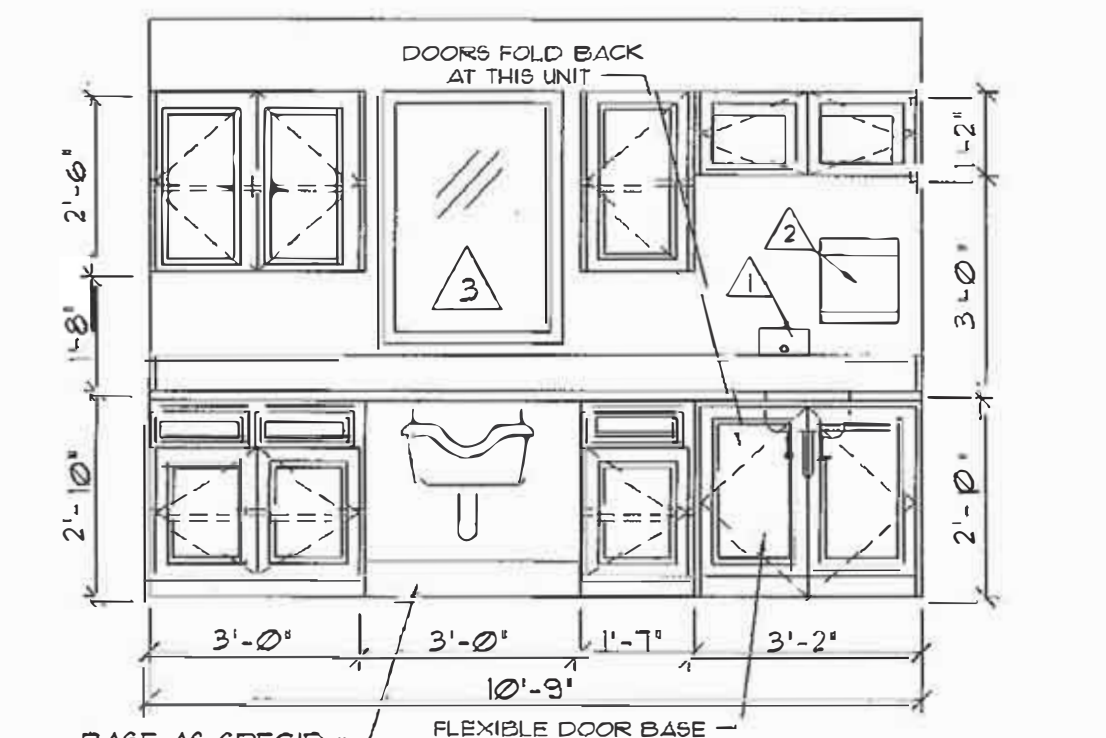
SEE DETAIL # 801 FOR THIS MILLWORK CONSTRUCTION.
113 ELEVATION MED. PREP. # 15
SCALE: 3/8" = 1'-0"



SEE DETAIL # 801 FOR THIS MILLWORK CONSTRUCTION.
114 ELEVATION MED. PREP. # 15
SCALE: 3/8" = 1'-0"



SEE DETAIL # 801 FOR THIS MILLWORK CONSTRUCTION.
115 ELEVATION STAFF LOUNGE # 22
SCALE: 3/8" = 1'-0"

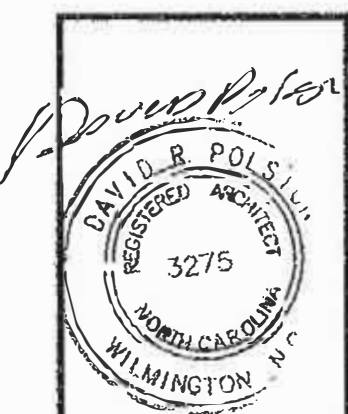


SEE DETAIL # 802 FOR THIS MILLWORK CONSTRUCTION.
116 ELEVATION SPA # 28
SCALE: 3/8" = 1'-0"

NOTE: SLANTED PANELS AT SINKS IN MED. PREP. # 15 AND STAFF LOUNGE # 22 TO MEET ALL NORTH CAROLINA HANDICAPPED REQUIREMENTS.

TOILET ACCESSORIES SCHEDULE			
Δ	DESCRIPTION	MANUFACTURER	CATALOG NO.
1	SOAP DISPENSER- WALL MOUNTED	BOBRICK	B- 212
2	PAPER TOWEL DISPENSER	BOBRICK	B- 262
3	MIRROR - SIZE AS SHOWN	BY GLAZING CONTRACTOR	

TOILET ACCESSORY NOTES:
1. SEE 1/4" SCALE FLOORPLANS AND INTERIOR ELEVATION FOR LOCATION OF TOILET ACCESSORIES.
2. G.C. SHALL PROVIDE CONCEALED BLOCKING IN WALLS AS REQUIRED FOR SECURE MOUNTING OF ACCESSORIES.
3. MOUNTING HEIGHTS SHALL MEET HANDICAPPED REQUIREMENTS AND STATE BUILDING CODES.
4. TOILET ACCESSORY ITEMS # 1, AND # 2 ARE TO BE PROVIDED AND INSTALLED BY OWNER.



2-2A-2025

THE CARROLTON OF NASH
NURSING FACILITY
Rocky Mount, North Carolina

David R. Polston - Architect
3806 Park Ave. Suite C, Wilmington, NC 28403
Architecture Planning Design

BUILDING RENOVATIONS

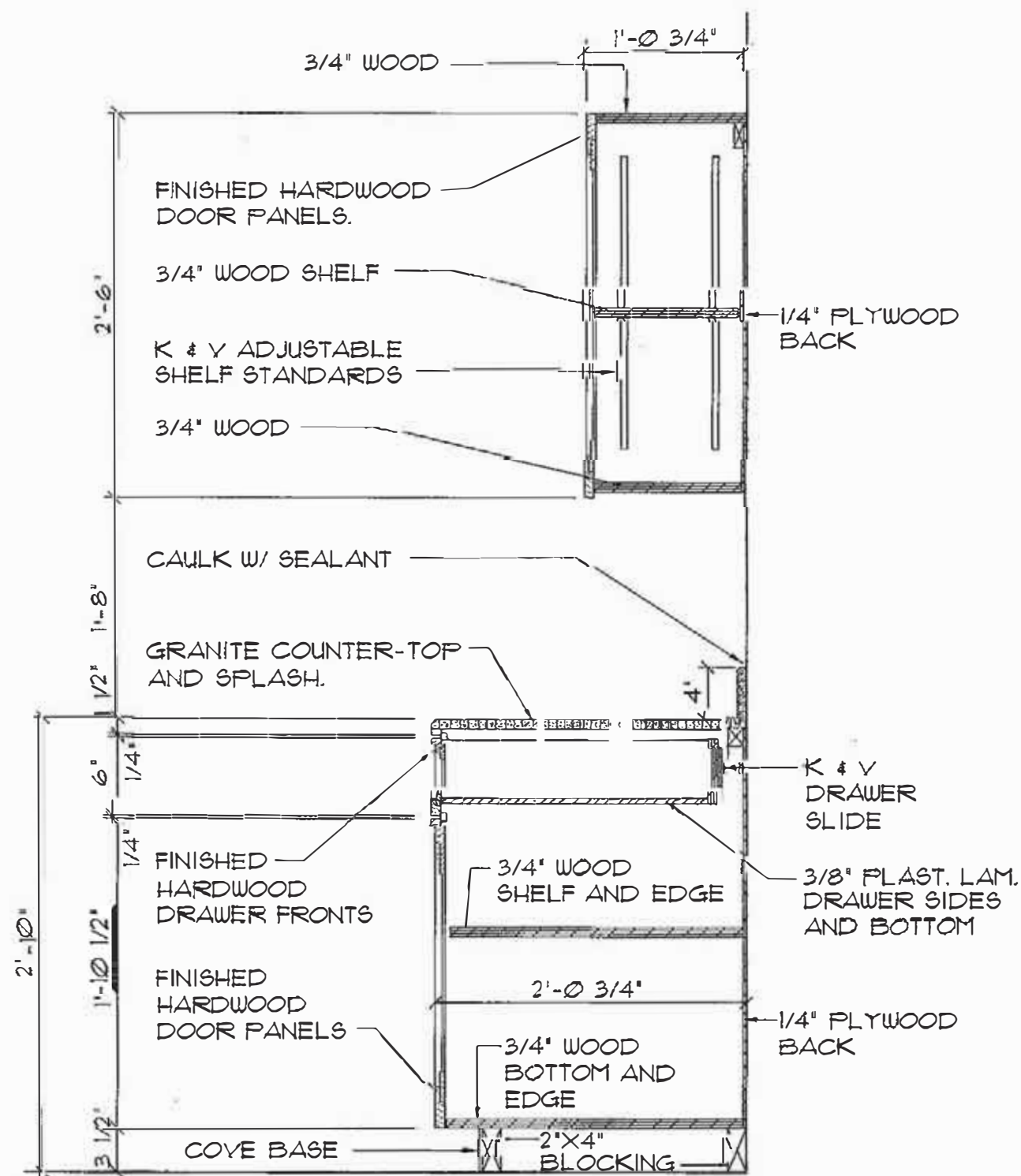
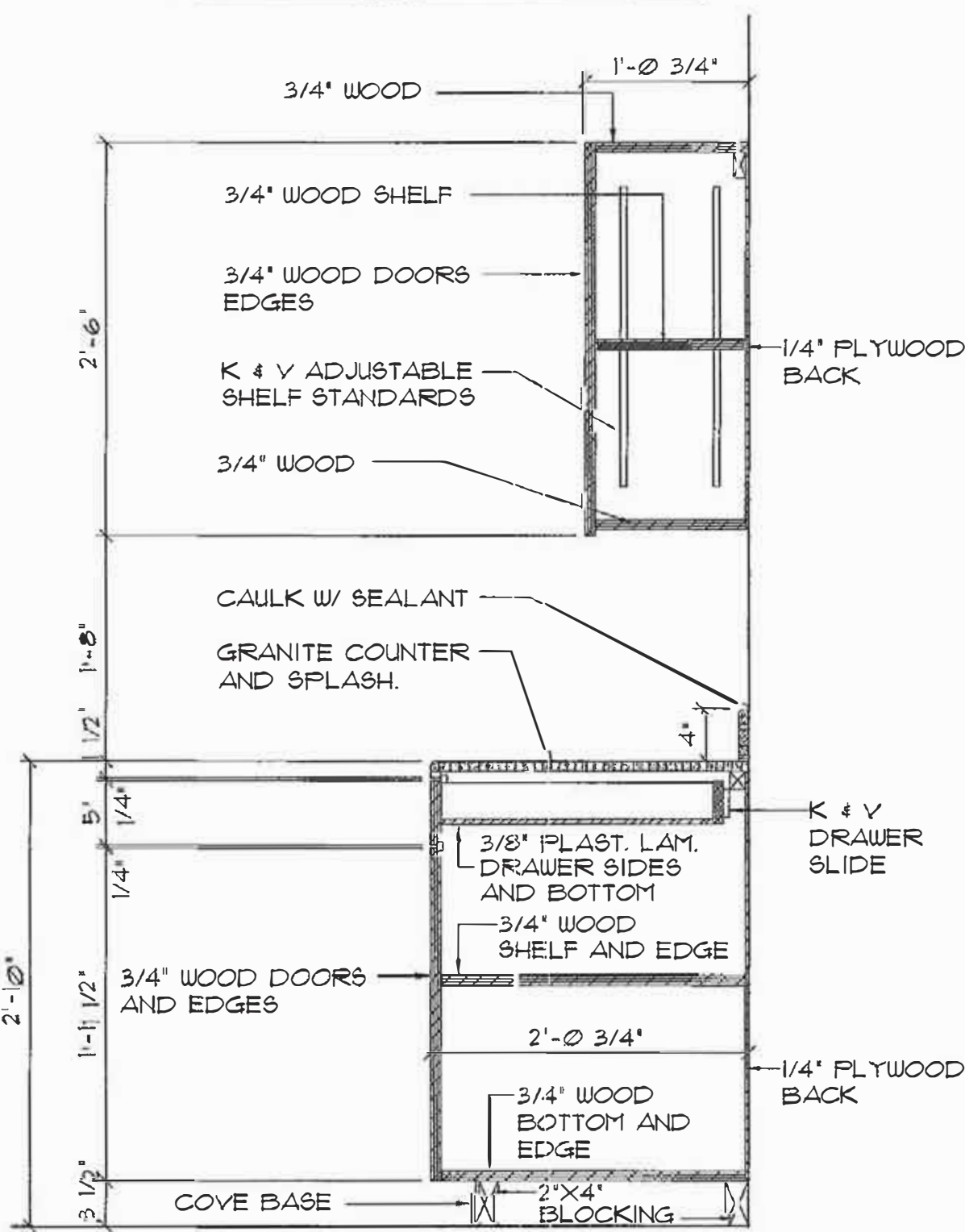
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ROOM FINISH SCHEDULE		FLOOR					BASE		WALLS		CEILING		CEILING HEIGHT	REMARKS				
		VINYL PLANK FLOORING	VINYL COMP. TILE	CARPET	SHEET VINYL	CERAMIC TILE	QUARRY TILE	SEALED CONC.	6" RUBBER BASE	CERAMIC TILE	QUARRY TILE	WOOD BASE			PAINTED G.W.B.	PAINTED MR. G.W.B.	FRP. PANELS	40" CERAMIC TILE / V.M.C. ABOVE TILE
NO.	ROOM																	
1	VESTIBULE				E			E									8'-0"	
2	OFFICE	●															8'-0"	
3	SPRINKLER							E	E								8'-0"	
4	GENERAL OFFICE	●							●								8'-0"	
5	OFFICE	●															8'-0"	
6	OFFICE	●							●								8'-0"	
7	FILES	●							●								8'-0"	
8	JANITORS' CLOSET						●		●								8'-0"	
9	NURSES' STATION	●							●								8'-0"	
10	SITTING			●					●								8'-0"	
11	LIVING ROOM			●					●								8'-0"	
12	COFFEE / SPORTS BAR			●					●								8'-0"	
13	SERVING AREA	●							●								8'-0"	
14	PIANO AREA			●					●								8'-0"	
15	MED. PREP.				●				●								8'-0"	
16	SOIL UTILITY				●				●								8'-0"	
17	NOUR. STATION				●				●								8'-0"	
18	CRAFTS	●							●								8'-0"	
19	JANITORS' CLOSET		E					E									8'-0"	
20	OFFICE	●							●								8'-0"	
21	OFFICE	●							●								8'-0"	
22	STAFF LOUNGE	●							●								8'-0"	
23	MEN				●				●					●			8'-0"	
24	WOMEN				●				●					●			8'-0"	
25	PHYSICAL THERAPY	●							●					●			8'-0"	
26	CLEAN UTILITY				●				●					●			8'-0"	
27	SOIL LINEN				●				●					●			8'-0"	
28	SPA	●							●					●			8'-0"	
29	CONF. ROOM			●					●					●			8'-0"	
30	SPECIAL EVENTS			●					●					●			8'-0"	
31	H.V.A.C. MECH.						●	●									8'-0"	
32	DINING ROOM			●					●					●			8'-0"	
33	CORRIDOR			●					●					●			8'-0"	
34	CORRIDOR			●					●					●			8'-0"	
35	CORRIDOR			●					●					●			8'-0"	
36	CORRIDOR			●					●					●			8'-0"	
37	CORRIDOR			●					●					●			8'-0"	
38	CORRIDOR			●					●					●			8'-0"	

NOTES:
1. ALL G.W.B. TO BVS' HOLD RESISTANT FIRECODE G.W.B.
2. ALL CERAMIC TILE G.W.B. BACK-UP TO BE WONDER BD.
3. ALL CERAMIC TILE TO BE THIN SET.
4. ALL BASE TO HAVE FACTORY MADE CORNERS.
5. RECESS SLAB AT QUARRY TILE AS REQUIRED FOR MUD SET.

PROVIDE A MINIMUM OF ONE WALL CABINET AT ALL HANDICAPPED UNITS AT 46" MAX. AFF. TO BOTTOM SHELF.

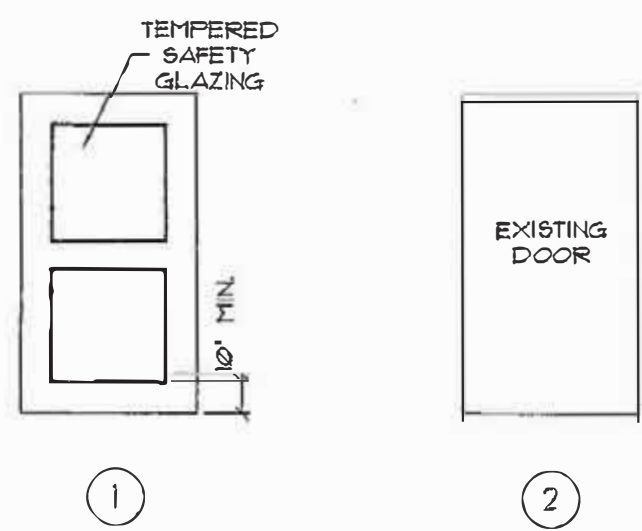
NOTE: ALL CABINET HARDWARE TO BE HANDICAPPED ACCESSIBLE IN ORDER TO OPEN DRAWERS / DOORS WITHOUT GRASPING.



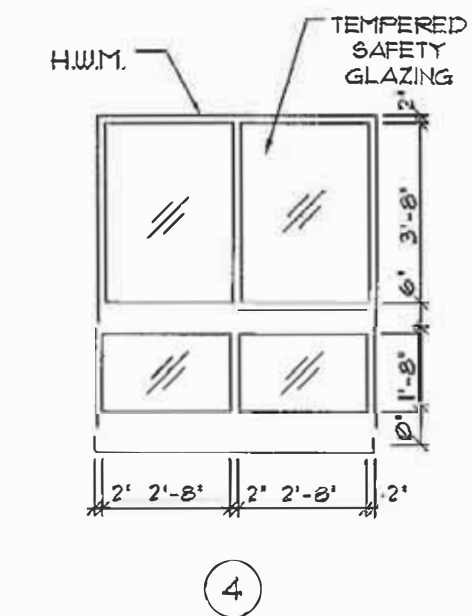
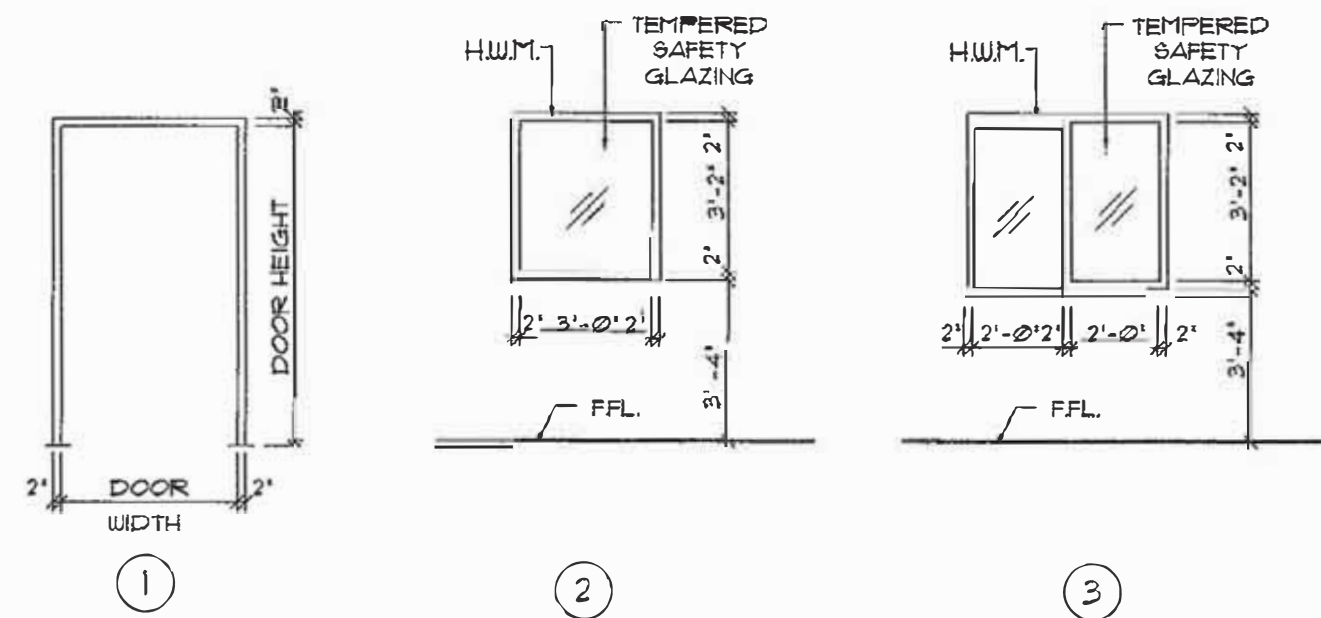
DOOR AND FRAME SCHEDULE									
DOOR NO.	DOOR SIZE	DOOR MATERIAL	DOOR TYPE	DOOR LABEL	FRAME MATERIAL	FRAME LABEL	FRM TYPE	HARDWARE NOTES	REMARKS
1	3'-0" X 6'-0"	ALUM.	1	---	ALUM.	---	1	1	NEW DOOR
2	3'-0" X 6'-0"	ALUM.	1	---	ALUM.	---	1	1	EXISTING DOOR
3	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
4	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
5	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
6	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
7	3'-0" X 6'-0"	SCW	1	---	HUM	---	1	5	NEW DOOR
8	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
9	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
10	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
11	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
12	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
13	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
14	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
15	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
16	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
17	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	3	EXISTING DOOR
18	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	3	EXISTING DOOR
19	3'-0" X 6'-0"	SCW	1	---	HUM	---	1	2	NEW DOOR
20	3'-0" X 6'-0"	SCW	1	---	HUM	---	1	2	EXISTING DOOR
21	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
22	3'-0" X 6'-0"	SCW	1	45MIN	HUM	45MIN	1	2	EXISTING DOOR
23	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
24	3'-0" X 6'-0"	SCW	2	---	HUM	---	1	2	EXISTING DOOR
25	3'-0" X 6'-0"	SCW	1	---	HUM	---	1	4	NEW DOOR
26	3'-0" X 6'-0"	SCW	1	---	HUM	---	1	4	NEW DOOR

HARDWARE NOTES:

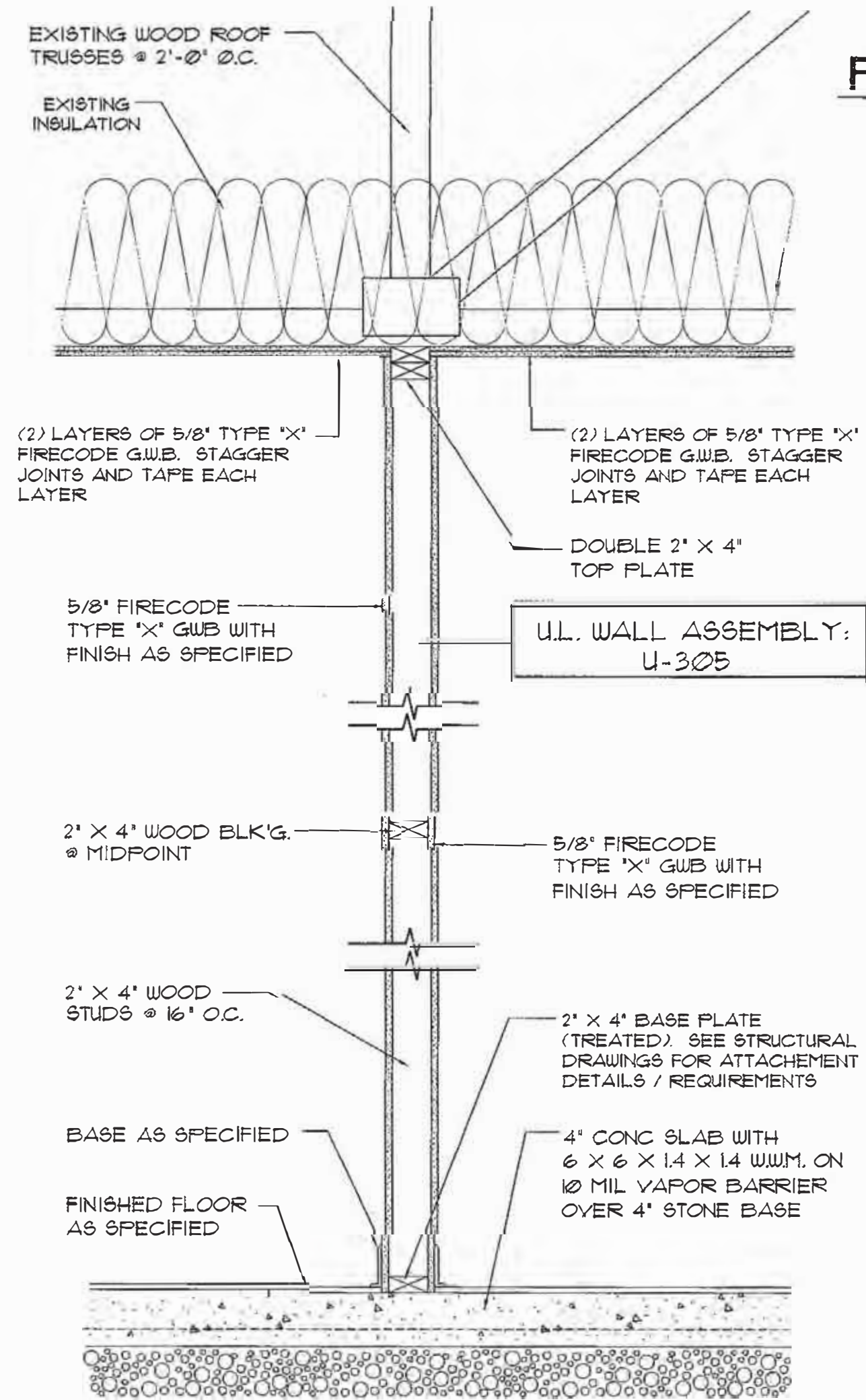
- RE-USE ALUMINUM STOREFRONT HARDWARE.
- RE-USE EXISTING DOOR HARDWARE. REPLACE EXISTING LOCKSET WITH LEVER HANDLE OFFICE FUNCTION LOCKSETS.
- RE-USE EXISTING DOOR HARDWARE. REPLACE EXISTING LOCKSET WITH LEVER HANDLE PRIVACY LOCKSET.
- PROVIDE FULL MORTISE BALL BEARING HINGES, OFFICE FUNCTION LEVER HANDLE LOCKSET, WALL STOP, AND DOOR SILENCERS.
- PROVIDE FULL MORTISE BALL BEARING HINGES, PASSAGE LOCKSET, WALL STOP, AND DOOR SILENCERS.



DOOR TYPES



FRAME TYPES

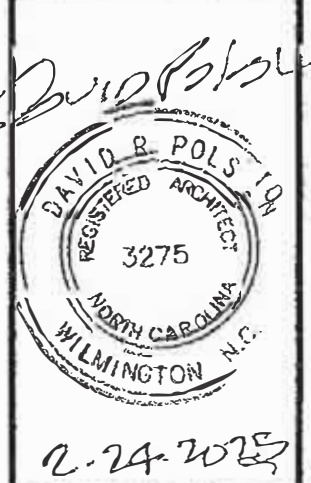


801 DETAIL TYPICAL CABINETS (STAFF SUPPORT LOCATIONS)
SCALE: 1" = 1'-0"

802 DETAIL TYPICAL CABINETS (COMMUNITY USE LOCATIONS)
SCALE: 1" = 1'-0"

803 DETAIL CABINETS @ BEAUTY SHOP SINK
SCALE: 1" = 1'-0"

804 SECTION TYPICAL INTERIOR PARTITION WALL
SCALE: 1" = 1'-0"



THE CARROLTON OF NASH
NURSING FACILITY
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BUILDING
RENOVATIONS

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PLUMBING SPECIFICATIONS

- 1501 GENERAL
- A. CODES, REGULATIONS AND STANDARD INSTALLATIONS ARE TO COMPLY WITH THE LATEST EDITION OF THE NORTH CAROLINA BUILDING AND PLUMBING CODES AND ALL OTHER APPLICABLE LOCAL AND NATIONAL CODES AND ORDINANCES. IN CASE OF CONFLICT BETWEEN THE CODE AND THE DRAWINGS AND SPECIFICATIONS OR BETWEEN VARIOUS CODES, THEN THE MOST RESTRICTIVE SHALL TAKE PRECEDENT.
- B. FEES AND PERMITS: PROVIDE ALL LICENSES, FEES, PERMITS, HEALTH DEPARTMENT FEES, INSURANCE, ETC., REQUIRED FOR EXECUTION OF THIS WORK.
- C. THE CONTRACT DRAWINGS ARE SCHEMATIC ONLY AND ARE NOT INTENDED TO SHOW ALL FITTINGS, BOLTS, CONNECTIONS, OFFSETS, ETC., UNLESS SPECIFICALLY DIMENSIONED. THE PLUMBING CONTRACTOR SHALL FOLLOW THE DRAWING AS CLOSELY AS POSSIBLE. HOWEVER, NECESSARY ADJUSTMENTS SHALL BE MADE AS REQUIRED TO CONFORM TO STRUCTURAL CONDITIONS, WORK OF OTHER CONTRACTORS AND THE INTENT OF THE DRAWINGS WITHOUT ADDITIONAL COST TO THE OWNER. THE DRAWINGS SHALL NOT BE SCALED. SECURE DIMENSIONS FROM ARCHITECTURAL DRAWINGS FOR FIXTURE LOCATIONS.
- D. THE PLUMBING CONTRACTOR SHALL PROVIDE ALL MATERIALS, PERFORM ALL WORK AND TEST AND PAY ALL FEES NECESSARY TO MAKE THE PLUMBING SYSTEM OPERABLE AND READY FOR USE BY THE OWNER.
- E. GUARANTEE: ALL NEW EQUIPMENT, NEW MATERIALS AND INSTALLATION SHALL BE GUARANTEED TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF WORK OR IN ACCORDANCE WITH THE MANUFACTURER'S STANDARD GUARANTEE, IF LONGER.
- F. PLUMBING CONTRACTORS SHALL BE RESPONSIBLE FOR HIS OWN CLEAN UP AND REMOVAL OF SCRAP FROM JOB SITE. PLUMBING CONTRACTOR SHALL MAINTAIN A CLEAN AND SAFE WORK AREA.
- G. IN CASE OF ANY CONFLICT BETWEEN INFORMATION FOUND IN THE PLANS, OR IN THE SPECIFICATIONS, THE MOST RESTRICTIVE INTERPRETATION SHALL TAKE PRECEDENT.
- H. THE PLUMBING DRAWINGS AND SPECIFICATIONS DO NOT INCLUDE THE DESIGN FOR ROOF GUTTER SYSTEMS OR ROOF DRAIN SYSTEMS.
- I. ALL PLUMBING COMPONENTS SHALL BE INSTALLED, SUPPORTED, AND RESTRAINED IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING CODE REQUIREMENTS FOR SEISMIC DESIGN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RETAIN A PROFESSIONAL ENGINEER COMPETENT IN THIS FIELD FOR THIS DESIGN. FOR ONE POSSIBLE SOURCE FOR THIS SERVICE, CONTACT SEISMIC CONTROL AND ISOLATIONS, INC. PHONE: 910-799-5204. ALL REQUIRED INSPECTIONS FOR THESE DESIGNS SHALL BE PERFORMED BY APPROVED INSPECTORS AND AGENCIES PROVIDED BY OWNER OR OWNER'S AGENT.
- J. ALL ROOF MOUNTED MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS SHALL BE INSTALLED, SUPPORTED, AND RESTRAINED IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING CODE REQUIREMENTS FOR WIND DESIGN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RETAIN A PROFESSIONAL ENGINEER COMPETENT IN THIS FIELD FOR THIS DESIGN. FOR ONE POSSIBLE SOURCE FOR THIS SERVICE, CONTACT SEISMIC CONTROL AND ISOLATION, INC. PHONE: 910-799-5204. ALL REQUIRED INSPECTIONS FOR THESE DRAWINGS SHALL BE PERFORMED BY QUALIFIED INSPECTORS AND AGENCIES HIRED BY THE OWNER OR OWNER'S AGENT AS REQUIRED BY THE BUILDING CODE.
- K. THE ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY.

- 1502 SCOPE
- WORK SHALL INCLUDE BUT IS NOT LIMITED TO:
- A. PROVIDE FIXTURES AND INSTALL AND CONNECT WASTE AND WATER PIPE AS SHOWN ON DRAWINGS.
- B. ROUTE WASTE AND WATER TO TIE INTO EXISTING WASTE AND WATER LINES INSIDE BUILDING.
- C. CHLORINATE WATER SYSTEM.
- D. PERFORM REQUIRED DEMOLITION AS INDICATED ON DRAWINGS AND/OR IN THESE SPECIFICATIONS.

- 1503 MATERIALS
- A. HANGERS:
1. SPACING FOR COPPER PIPE SHALL BE AS FOLLOWS:
- | | |
|-----------------|-------------|
| 1" & SMALLER | 6'-0" O.C. |
| 1-1/4" & 1-1/2" | 8'-0" O.C. |
| 3" & LARGER | 10'-0" O.C. |
2. SPACING FOR CARBON STEEL AND CAST IRON PIPE SHALL BE AS FOLLOWS:
- | | |
|-----------------|-------------|
| 1" & SMALLER | 7'-0" O.C. |
| 1-1/2" & 2" | 10'-0" O.C. |
| 2-1/2", 3" & 4" | 12'-0" O.C. |
3. SPACING FOR PVC PIPE SHALL BE AS FOLLOWS:
- | | |
|------------------|------------|
| 1-1/2" & SMALLER | 2'-0" O.C. |
| 2" | 3'-0" O.C. |
| 2" TO 4" | 5'-0" O.C. |
4. SPACING FOR CPVC PIPE SHALL BE AS FOLLOWS:
- | | |
|--------------|------------|
| 1" & SMALLER | 3'-0" O.C. |
| 1-1/4" TO 2" | 4'-0" O.C. |
5. HANGER FOR HORIZONTAL PIPING SHALL BE THE CLEVIS TYPE.
6. HANGERS FOR BARE COPPER PIPING SHALL BE COPPER PLATED.
7. HANGER FOR INSULATED PIPING SHALL EXTEND AROUND THE INSULATION. PROVIDE 16 GAUGE GALVANIZED STEEL INSULATION PROTECTION SADDLES 12" LONG AT EACH HANGER ON ALL INSULATED LINES AND HARD INSULATION INSERTS AT SADDLES.
8. A HANGER SHALL BE FASTENED BY MEANS OF THREADED RODS TO BUILDING STRUCTURE. ALL HANGERS SHALL PERMIT ADEQUATE ADJUSTMENT AFTER ERECTION WHILE STILL SUPPORTING THE LOAD.
9. A HANGER SHALL BE PROVIDED WITHIN ONE FOOT OF EACH BEND IN HORIZONTAL PIPING.
10. SUPPORT MATERIAL SHALL BE PROPERLY CHOSEN TO AVOID ATMOSPHERIC CORROSION AND TO AVOID GALVANIC CORROSION DUE TO CONTACT OF SUPPORT AND ADJACENT MATERIALS.
- C. HOT AND COLD WATER PIPES BEGINNING 5' FROM BUILDING WALL:
1. PIPE SHALL BE TYPE L COPPER TUBING ABOVE GRADE AND TYPE K BELOW GRADE.
2. FITTINGS SHALL BE MADE USING SOLDER AS PER THE N.C. PLUMBING CODE FOR POTABLE WATER.
- D. ACCEPTABLE ALTERNATE:
- HOT AND COLD WATER PIPES BEGINNING 5' FROM BUILDING WALL:
1. CPVC IS AN ACCEPTABLE ALTERNATE FOR ALL WATER PIPING. ITEM P UNDER EXECUTION SHALL BE COMPLETELY MET. IN PARTICULAR, THE CONTRACTOR MUST BE CERTIFIED BY THE MANUFACTURER FOR CPVC INSTALLATION AND A MANUFACTURER'S REPRESENTATIVE MUST VIEW THE COMPLETED PROJECT AND WRITE A LETTER INDICATING PROPER INSTALLATION PRACTICES WERE FOLLOWED.
2. PIPE AND FITTINGS SHALL BE CPVC FLOWGUARD GOLD OR EQUAL FOR 2" AND BELOW, CORZAN OR EQUAL FOR ABOVE 2".
3. FITTINGS SHALL BE MADE AS PER MANUFACTURER'S INSTRUCTIONS AND AS PER THE N.C. PLUMBING CODE FOR POTABLE WATER.
- E. VENT AND WASTE PIPE - WASTE AND VENT PIPE SHALL BE SCH 40 PVC-DWV AS PER ASTM 2865 D WITH SOLVENT WELD JOINTS EXCEPT AS NOTED BELOW. PVC SHALL NOT BE USED IN A RETURN AIR PLENUM. FOR RETURN AIR PLENUMS CAST IRON SHALL BE USED. TRANSITION FROM PVC TO CAST IRON SHALL BE MADE WITH CODE APPROVED TRANSITION FITTINGS DESIGNED EXPRESSLY FOR THAT PURPOSE. ALL FITTINGS SHALL BE SANITARY DRAINAGE PATTERN.
- F. VALVES:
1. WATER GATE VALVES SHALL BE OF BRASS CONSTRUCTION WITH SOLDER JOINT FITTINGS.
2. ALL VALVES SHALL BE AS PER PLUMBING CODE.
- G. INSULATION:
1. WATER PIPING IN UNCONDITIONED UTILITY ROOM, ATTIC SPACE OR INSTALLED OUTSIDE BUILDING INSULATION SHALL BE INSULATED WITH 2" THICK FIBERGLASS WITH VAPOR BARRIER JACKET. UTILITY ROOM INSULATION SHALL ALSO HAVE A PVC JACKET, STAPLED AND TAPED.
2. EXPOSED HOT AND COLD WATER LINES AND WASTE LINES UNDER HANDICAP LAVatories AND SINKS SHALL BE INSULATED WITH FULLY MOLDED, TRUEBRO, HAND-LAY GUARD INSULATION KIT.
3. UNDERGROUND LINES BELOW FROST LINE SHALL NOT BE INSULATED.
4. ALL OTHER WATER PIPING SHALL BE INSULATED AS FOLLOWS:
- H. COLD WATER PIPING SHALL HAVE 1/2" ARMAFLEX.
- I. HOT WATER PIPING SHALL HAVE 1" ARMAFLEX ON FIRST 6' OF PIPE FROM WATER HEATER AND 1/2" ARMAFLEX IN ALL OTHER PLACES.
- J. CLEANOUTS:
1. INTERIOR CLEANOUTS SHALL BE CAST IRON BODE WITH BRONZE OR NICKEL-ALLOY TOPS. JOSAM OR EQUAL.
2. WALL CLEANOUTS SHALL BE INSTALLED BEHIND STAINLESS STEEL COVERPLATES.
- K. VENTS SHALL PENETRATE ROOF WITH FLEXIBLE BOOTS WITH FLASHING FLANGE.

- 1504 EXECUTION
- A. ALL HOLES THROUGH WALLS, FLOORS AND CEILINGS ARE TO BE DRILLED, NOT BROKEN. ROUND ALL SHARP EDGES TO DRILLED HOLES.
- B. LINES ARE NOT TO BE COVERED UNTIL INSPECTED BY THE ARCHITECT.
- C. WRAP COPPER PIPE WITH DUCT TAPE WHERE IT PENETRATES THE FLOOR.
- D. DO NOT MAKE A WATER LINE JOINT UNDER THE SLAB.
- E. A WATER HAMMER ARRESTOR SHALL BE INSTALLED AT FIXTURES THAT HAVE QUICK CLOSING VALVES WHEN METALLIC PIPE IS INSTALLED. WATER HAMMER ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. WATER HAMMER ARRESTORS SHALL COMPLY WITH ASSE 1010.
- F. WASTE PIPES PASSING UNDER OR THROUGH FOUNDATIONS OR THROUGH LOAD BEARING SECTIONS OF A WALL SHALL BE ROUTED THROUGH D.I. SLEEVES AT LEAST TWO PIPE SIZES LARGER THAN THE WASTE PIPE.
- G. PROVIDE SUFFICIENT HANGERS, SUPPORTS, CLAMPS, CLIPS, INSERTS AND MAINTAINING DEVICES TO SUPPORT ALL PIPING AS PER GOOD PIPING PRACTICE AND TO MAINTAIN PROPER DRAINAGE.
- H. INSTALL ALL EQUIPMENT AS PER MANUFACTURER'S INSTRUCTIONS AND PERTINENT RECOMMENDATIONS.
- I. INSTALL UNDERGROUND PIPE AS PER MANUFACTURER'S RECOMMENDATIONS. TRENCH SHALL BE CLEAR OF ALL ROCKS AND OTHER ABRASIVE MATERIALS. TRENCH BOTTOM SHALL BE COMPACTED AND FULLY SUPPORT PIPE. FILL DIRT TO 6" ABOVE TOP OF PIPE TO BE CLEAN AND FREE OF ABRASIVE MATERIALS. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS FOR PIPE BEDDING GIVEN SOIL CONDITIONS.
- J. PLUMBING CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO ASSURE THAT ALL PIPE INTERFERENCES (FOUNDATIONS, CABLES, OTHER PIPING, ETC.) ARE AVOIDED BY UNDERGROUND PLUMBING.
- K. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT PLUMBING WALLS ARE CONSTRUCTED TO ALLOW INSTALLATION OF FIXTURE CARRIERS. PLUMBING CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR PRIOR TO WALL CONSTRUCTION.
- L. CONTRACTOR SHALL SUPPLY AND INSTALL FIXTURE HANGER AS REQUIRED FOR PROPER INSTALLATION.
- M. WATER PIPE ROUTING THROUGH STUDS SHALL BE PROTECTED BY METAL STUD GUARDS.
- N. INSTALL ALL WATER PIPING INSIDE OF BUILDING INSULATION IF POSSIBLE. WATER PIPING INSTALLED IN ATTIC SPACE MUST BE UNDER BATT INSULATION. IF BLOWN INSULATION IS USED IN ATTIC SPACE WATER PIPE SHALL BE INSULATED AS IF IT WERE IN AN UNCONDITIONED SPACE.
- O. VENT TERMINALS SHALL NOT BE LOCATED WITHIN 10' OF ANY AIR INTAKE OPENING.
- P. INSTALLATION OF CPVC WATER PIPE SHALL BE STRICTLY AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. INSTALLER SHALL HAVE ATTENDED MANUFACTURER'S TRAINING AND BE MANUFACTURER CERTIFIED. ALL PIPE EXPANSION PROVISIONS SHALL BE ADDED TO WATER PIPING LAYOUT AS RECOMMENDED BY MANUFACTURER. (FLOWGUARD AND CORZAN CONTACT: JOSHUA STOKES, PHONE 704-480-1694.)
- Q. ALL PIPING SHALL BE LABELED WITH PLASTIC LABELS INDICATING PIPE TYPE (I.E. GAS, COLD WATER, HOT WATER, ETC.) AND DIRECTION OF FLOW. PLACE LABELS ON 25' CENTERS.

- 1505 TESTS
- A. THE HOT AND COLD WATER PIPING SHALL HOLD A HYDROSTATIC TEST PRESSURE OF 100 PSI FOR A PERIOD OF AT LEAST 1-1/2 HOURS. ANY JOINT TO LEAK UNDER TEST SHALL BE BROKEN, REMADE AND RETESTED. ANY EXISTING WATER LINES WHICH ARE TIED TO BY NEW LINES SHALL MEET THE FOLLOWING:
1. VERIFY EXISTING LINES TIE PROPERLY TO EXISTING WATER SYSTEM.
2. VERIFY EXISTING WATER LINES ARE IN GOOD CONDITION AND FREE FROM LEAKS.
3. ANY REUSED EXISTING PIPE SHALL BE REPLACED AS NEEDED TO PROVIDE A PROPERLY OPERATING WATER SYSTEM.
- B. ALL WASTE PIPING SHALL BE TESTED BY FILLING THE LINES TO OVERFLOWING. ANY JOINT FOUND TO LEAK UNDER TEST SHALL BE BROKEN, REMADE AND RETESTED. ALSO FOR EXISTING WASTE LINES WHICH ARE TIED TO BY NEW LINES THE FOLLOWING SHALL BE VERIFIED:
1. VERIFY EXISTING LINES TIE PROPERLY TO EXISTING WASTE SYSTEM.
2. VERIFY EXISTING WASTE LINES ARE IN GOOD CONDITION AND FREE FROM LEAKS.
3. ANY REUSED EXISTING PIPE SHALL BE REPLACED AS NEEDED TO PROVIDE A PROPERLY OPERATING WASTE SYSTEM.

- 1506 CHLORINATION
- WATER PIPE SHALL BE CHLORINATED TO 50 PPM RESIDUAL CHLORINE AFTER TWENTY-FOUR HOURS AND TO THE SATISFACTION OF THE LOCAL HEALTH DEPARTMENT OR BUILDING INSPECTION DEPARTMENT.

- 1507 SUBSTITUTION
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW UNLESS OTHERWISE SHOWN OR SPECIFIED AND SHALL BE OF THE VERY BEST QUALITY AS SPECIFIED.

REQUESTS TO SUBSTITUTE OTHER MATERIALS OR PRODUCTS FOR THOSE SPECIFIED SHALL BE SENT IN WRITING TO THE OWNER. REQUESTS SHALL BE ACCOMPANIED BY ENGINEERING DATA, SPECIFICATION SHEETS, ETC., AS NECESSARY TO FULLY IDENTIFY AND APPRAISE THE PRODUCTS.

APPROVAL OF EQUIPMENT WILL NOT RELIEVE THE CONTRACTOR OF NONCOMPLIANCE WITH THE SPECIFICATIONS EVEN IF SUCH APPROVAL IS MADE IN WRITING, UNLESS THE ENGINEER IS CALLED TO THE NONCONFORMING FEATURES BY LETTER ACCOMPANYING THE SUBMITTAL DATA.

- 1508 PLACING IN SERVICE
- UPON COMPLETION OF THE ENTIRE SYSTEM, THE PLUMBING CONTRACTOR SHALL FLUSH ALL LINES TO INSURE PROPER FLOWS. ALL FIXTURES SHALL BE LEFT CLEAN.

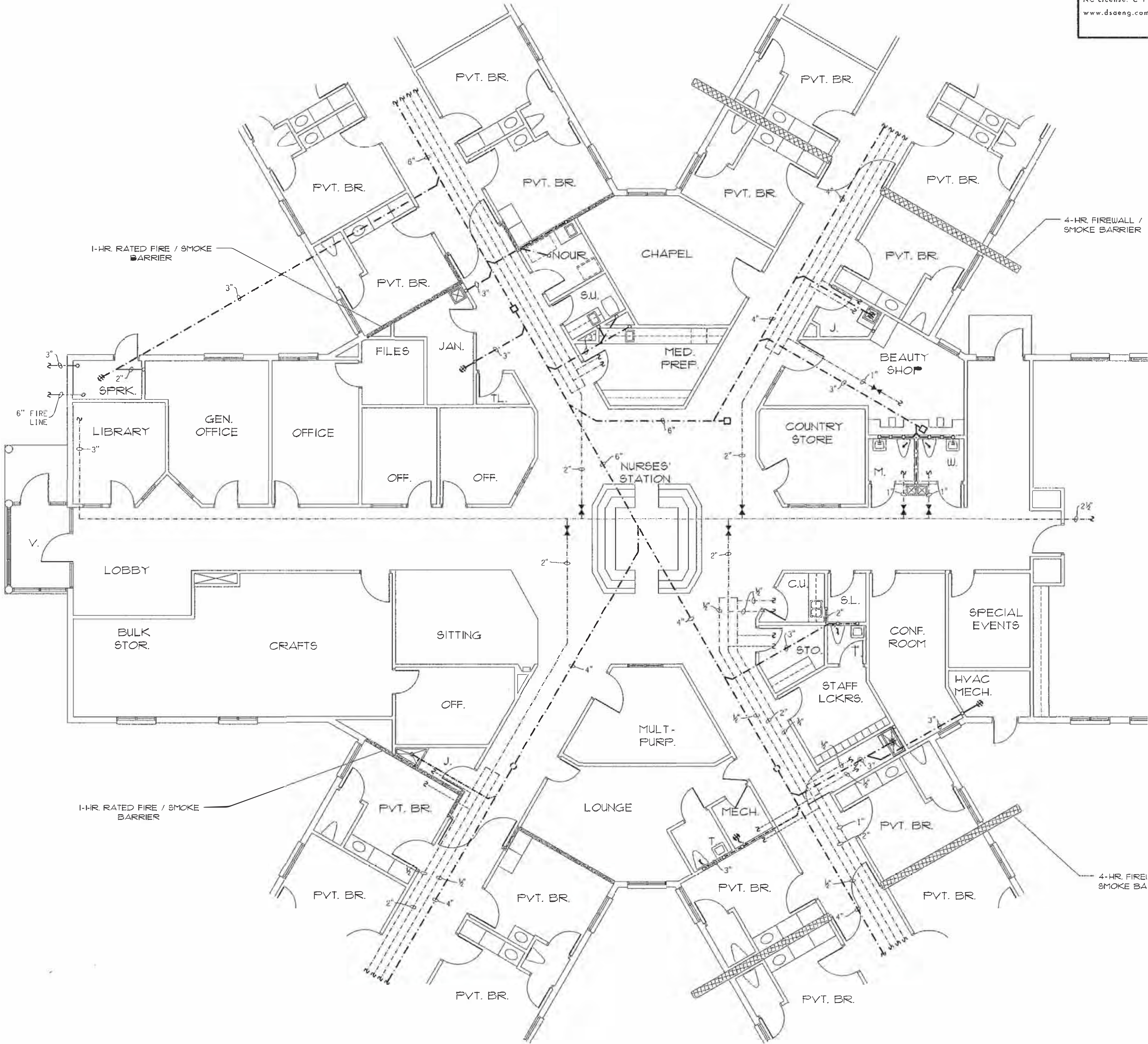
THE PLUMBING CONTRACTOR SHALL DEMONSTRATE THE PROPER FUNCTION OF THE ENTIRE SYSTEM. THE PLUMBING CONTRACTOR SHALL ACQUAINT THE OWNER'S REPRESENTATIVE WITH THE PROPER OPERATION OF THE PLUMBING SYSTEM.

- 1509 VISIT TO THE SITE
- ALL BIDDERS ON THIS WORK SHALL VISIT THE SITE AND THOROUGHLY FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS BEFORE SUBMITTING THEIR BIDS. NO ALLOWANCE WILL BE MADE FOR LACK OF KNOWLEDGE OF EXISTING CONDITIONS.

- 1510 SHOP DRAWINGS
- AS SOON AS POSSIBLE (AND NOT MORE THAN 30 DAYS) AFTER THE CONTRACT IS SIGNED, THE CONTRACTOR SHALL SUBMIT FIVE (5) COPIES OF THE SHOP DRAWINGS COVERING FIXTURES, AND ANY SPECIAL EQUIPMENT WHICH HE INTENDS TO USE. FOUR (4) COPIES OF THIS DATA WILL BE RETURNED BY THE ENGINEER WHO WILL INDICATE APPROVAL OR OTHERWISE.

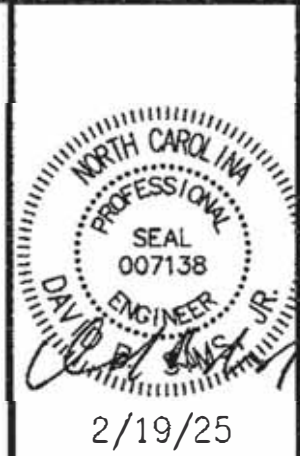
- 1511 FIRE RATED WALLS, FLOORS & CEILINGS
- CONTRACTOR SHALL DETERMINE LOCATION OF ALL FIRE AND SMOKE RATED WALLS, FLOORS AND CEILINGS FROM ARCHITECTURAL DRAWINGS. PIPING PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL BE AS REQUIRED BY N.C. BUILDING CODE, WITH APPROVED AND APPROPRIATELY RATED UL FIRESTOP SYSTEMS AT ALL PENETRATIONS. ALL FIRESTOP SYSTEMS SHALL BE APPROVED FOR THEIR APPLICATION BY LOCAL INSPECTION AUTHORITIES PRIOR TO FIELD INSTALLATION.

- 1512 DEMOLITION
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED PLUMBING DEMOLITION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TESTING FOR ASBESTOS, LEAD BASED PAINT OR OTHER HAZARDOUS MATERIALS IN ITEMS TO BE DEMOLISHED. IF SUCH MATERIALS ARE FOUND, CONTRACTOR SHALL HAVE HAZARDOUS MATERIALS ABATED AS PER LOCAL, STATE AND FEDERAL REGULATIONS BY A CONTRACTOR CERTIFIED AND LICENSED FOR THIS WORK. ALL DEMOLITION AND DISPOSAL SHALL BE AS PER ALL PERTINENT LOCAL, STATE AND FEDERAL REGULATIONS. CONTRACTOR SHALL PRESENT OWNER WITH WORK PLAN AND DISPOSAL PLAN FOR ALL HAZARDOUS MATERIALS AND SUBSTANCES. THE CONTRACTOR SHALL DELIVER TO THE OWNER ALL ITEMS THE OWNER WISHES TO RETAIN. ALL OTHER EQUIPMENT AND DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE REMOVED FROM THE SITE.



A Partial Plumbing Plan - Existing Center Core
PI SCALE: 1/8" = 1'-0"

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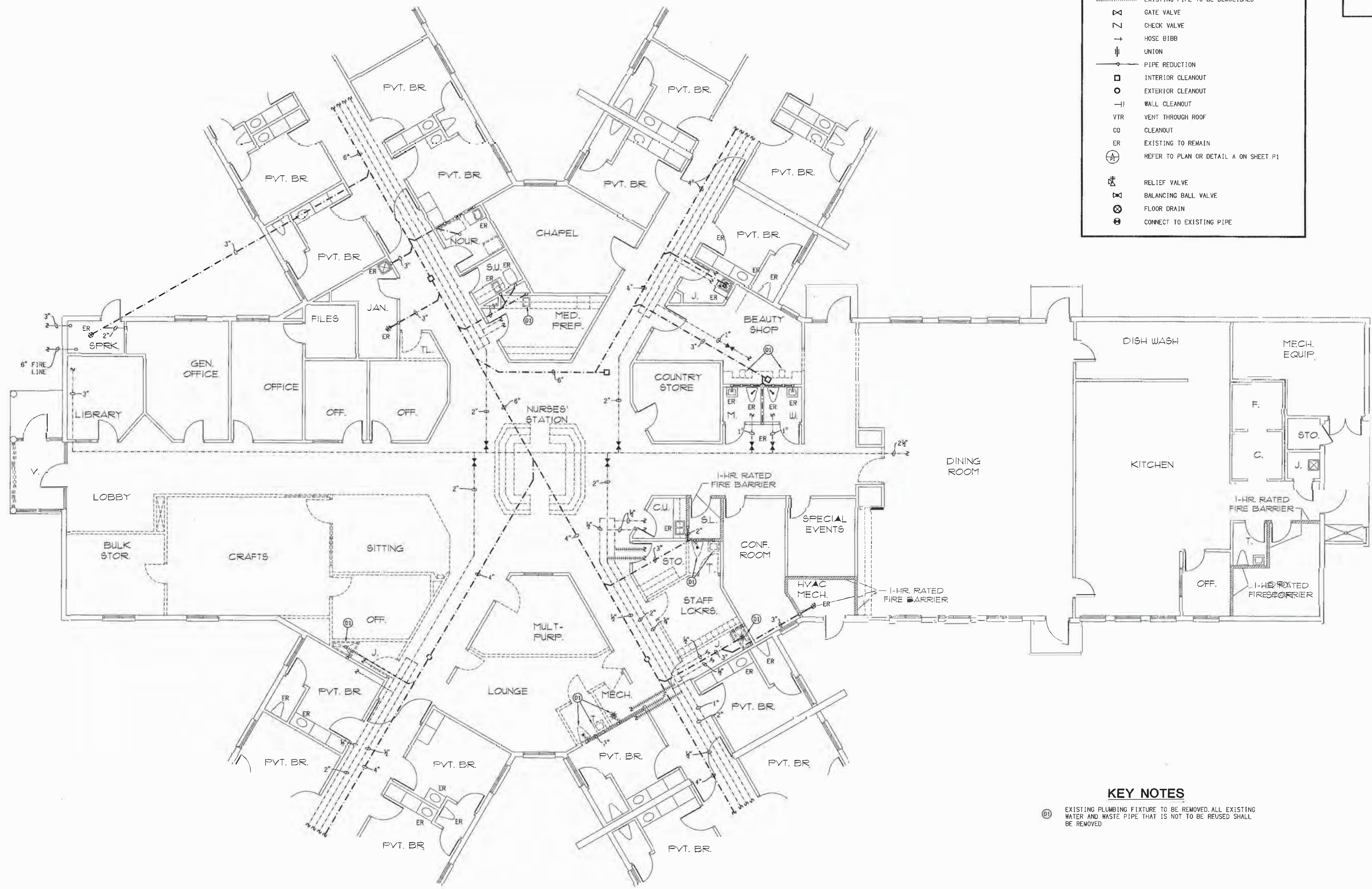
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LEGEND

- WASTE PIPE - EXISTING
- WASTE PIPE
- VENT PIPE - EXISTING
- VENT PIPE
- COLD WATER PIPE - ABOVE GRADE - EXISTING
- COLD WATER PIPE - ABOVE GRADE
- COLD WATER PIPE - BELOW GRADE
- HOT WATER PIPE - ABOVE GRADE - 110°F - EX.
- HOT WATER PIPE - ABOVE GRADE - 110°F
- RECIRCULATION PIPE - ABOVE GRADE - 110°F
- EXISTING PIPE TO BE DEMOLISHED
- GATE VALVE
- CHECK VALVE
- HOSE BIBB
- UNION
- PIPE REDUCTION
- INTERIOR CLEANOUT
- EXTERIOR CLEANOUT
- WALL CLEANOUT
- VTR VENT THROUGH ROOF
- CO CLEANOUT
- ER EXISTING TO REMAIN
- REFER TO PLAN OR DETAIL A ON SHEET P1
- RELIEF VALVE
- BALANCING BALL VALVE
- FLOOR DRAIN
- CONNECT TO EXISTING PIPE

KEY NOTES

- ① EXISTING PLUMBING FIXTURE TO BE REMOVED. ALL EXISTING WATER AND WASTE PIPE THAT IS NOT TO BE REUSED SHALL BE REMOVED.

A Partial Mechanical Demolition Plan - Center Core
M2 SCALE: 1/8" = 1'-0"

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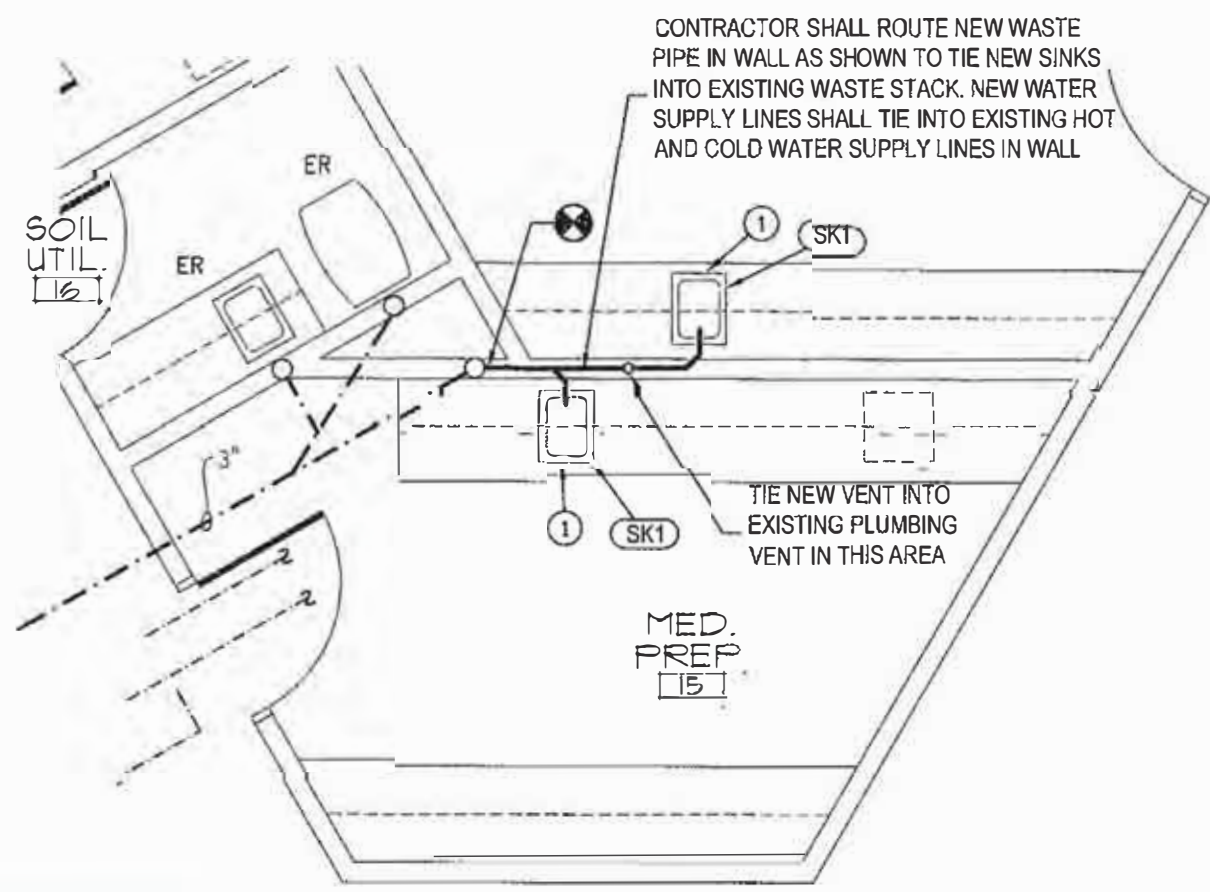
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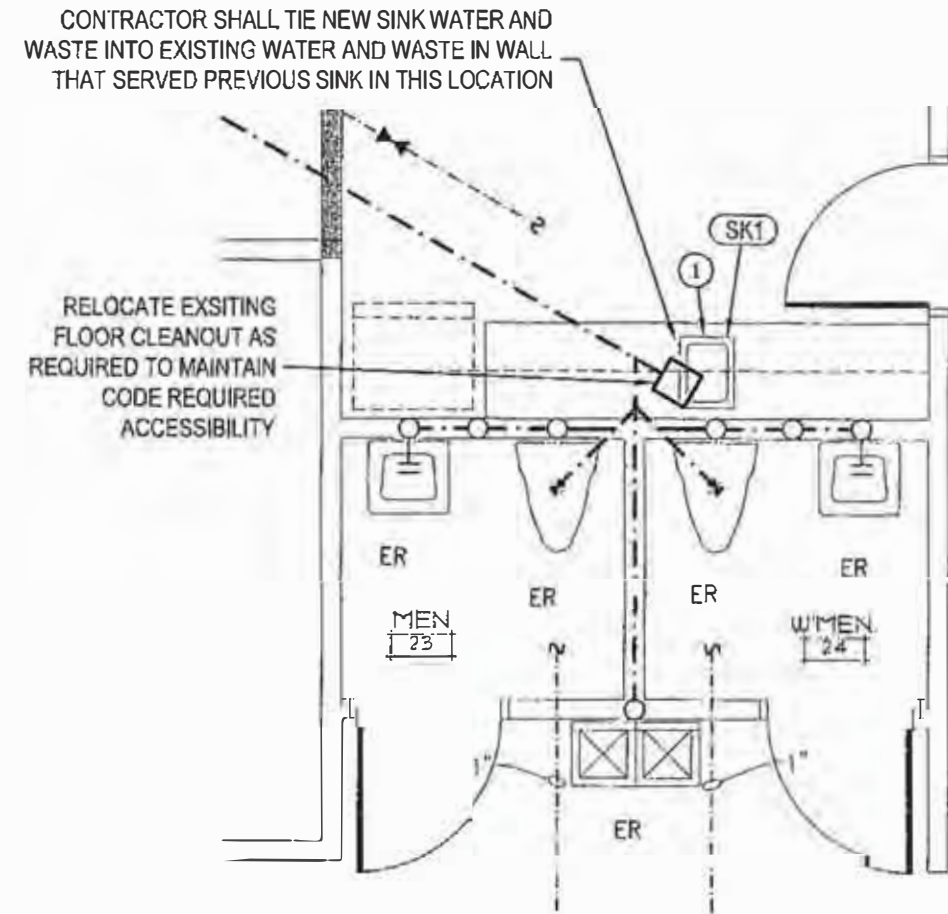
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PLUMBING FIXTURE SCHEDULE -								
SYM.	FIXTURE	CW	HW	DRAIN	STOPS & VALVES	MANUF.	MODEL	REMARKS
SK1	SINGLE COMPARTMENT SINK - HANDICAP	1/2"	1/2"	1-1/2"	1/2"x3/8" ANGLE	ELKAY	GEGR2521	INCLUDE AMERICAN STANDARD #7230.000 GOOSENECK FAUCET P-TRAP/CLEANOUT, STRAINER, BRASS CRAFT RING SUPPLY VALVES, 90° ELBOW, 1/2" BRASS HANDLES. SEE NOTE 1.
SK2	BEAUTY SINK	1/2"	1/2"	2"	1/2"x3/8" ANGLE	BELVEDERE	3800	W/822 FLOW TEMP FAUCET W/HAIR STRAINER, SPRAY, VACUUM BREAKER, AND P-TRAP SUPPLY: EASTMAN SW650

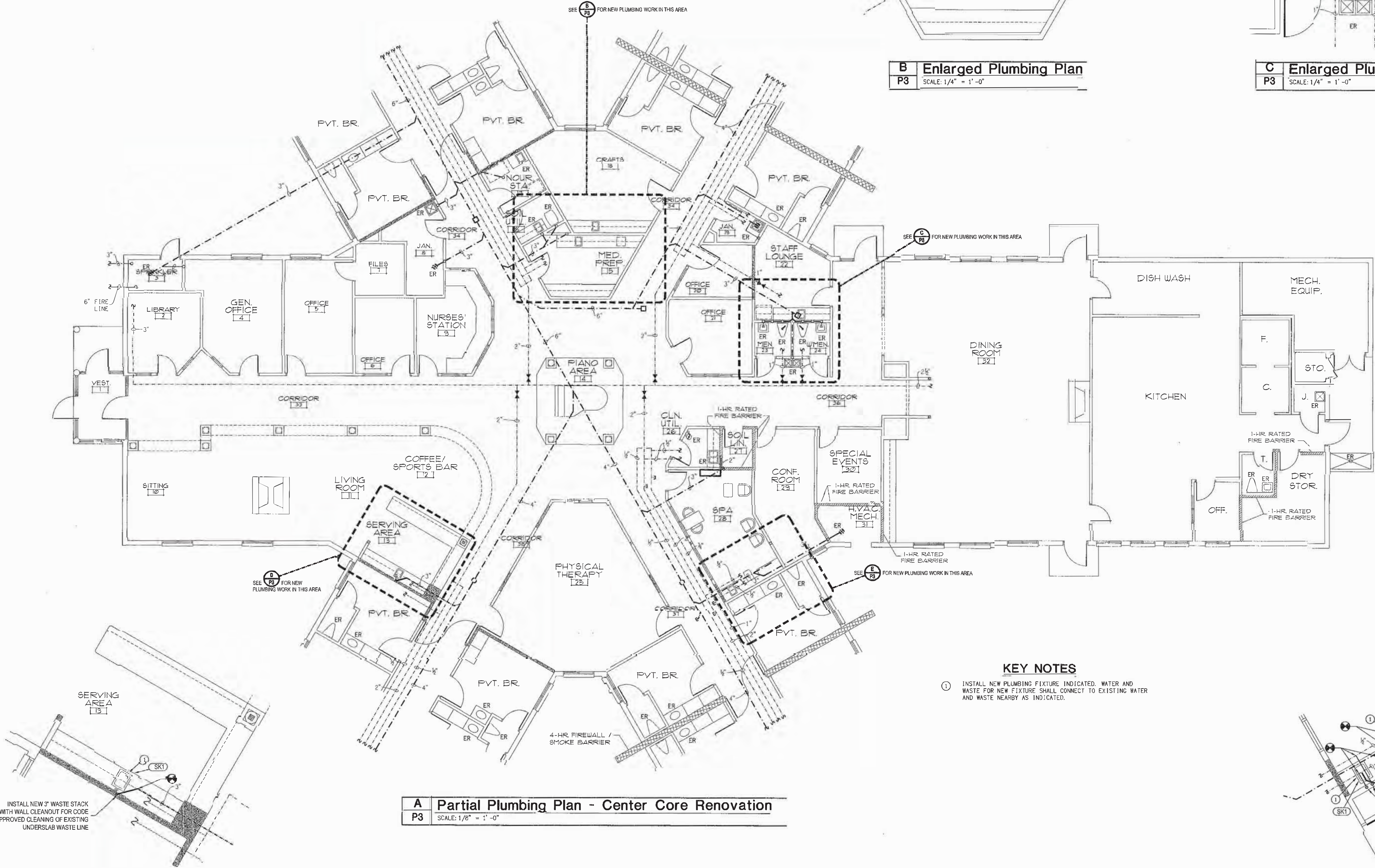
NOTES:
1. MATERIAL AND INSTALLATION SHALL BE PER STATE HANDICAP CODE REQUIREMENTS AND ADA REQUIREMENTS.



B Enlarged Plumbing Plan
P3 SCALE: 1/4" = 1'-0"



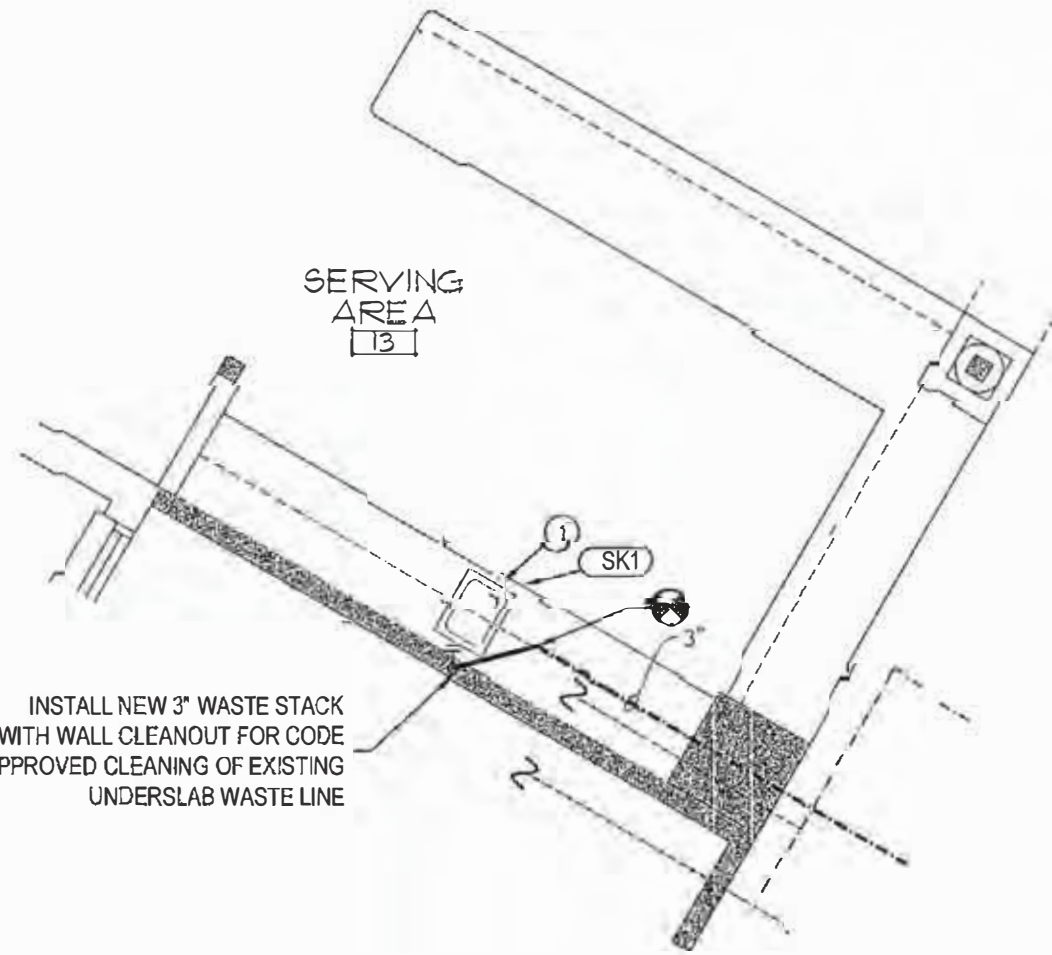
C Enlarged Plumbing Plan
P3 SCALE: 1/4" = 1'-0"



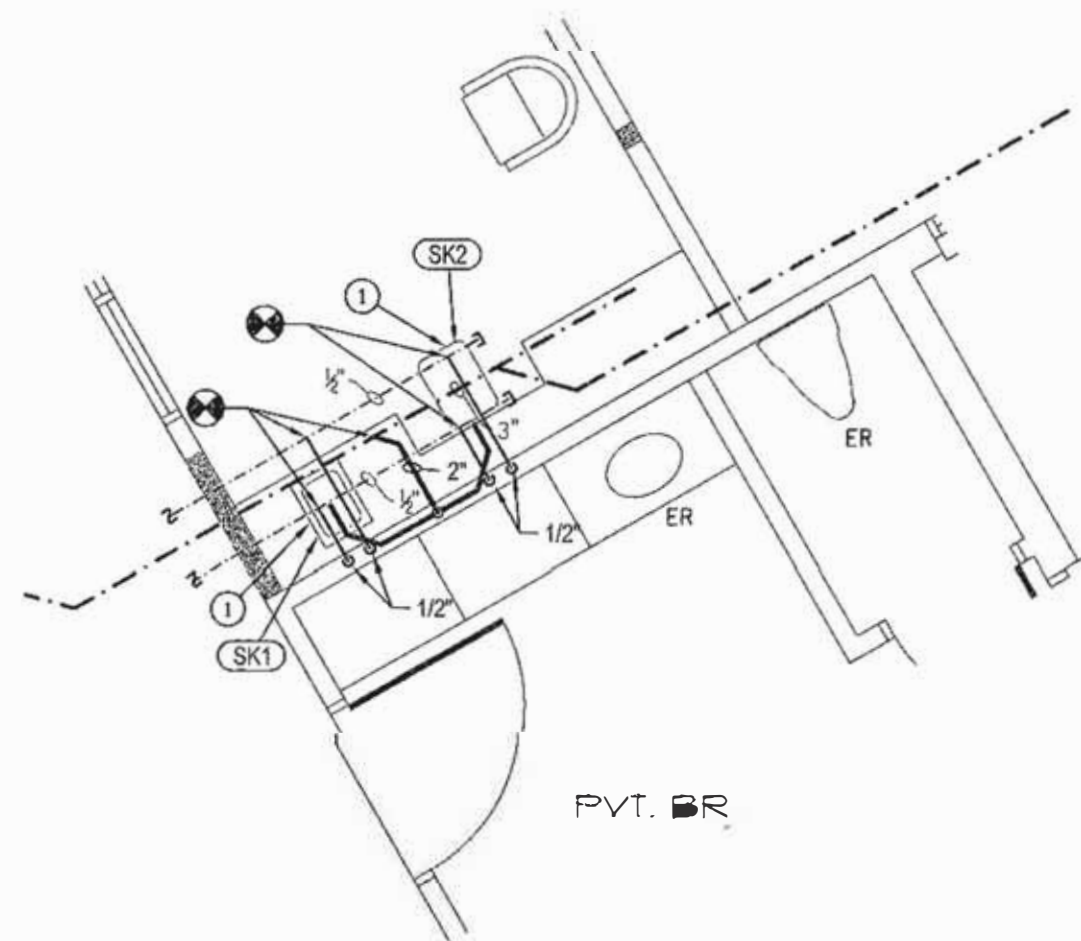
A Partial Plumbing Plan - Center Core Renovation
P3 SCALE: 1/8" = 1'-0"

KEY NOTES

- ① INSTALL NEW PLUMBING FIXTURE INDICATED. WATER AND WASTE FOR NEW FIXTURE SHALL CONNECT TO EXISTING WATER AND WASTE NEARBY AS INDICATED.



D Enlarged Plumbing Plan
P3 SCALE: 1/4" = 1'-0"



E Enlarged Plumbing Plan
P3 SCALE: 1/4" = 1'-0"

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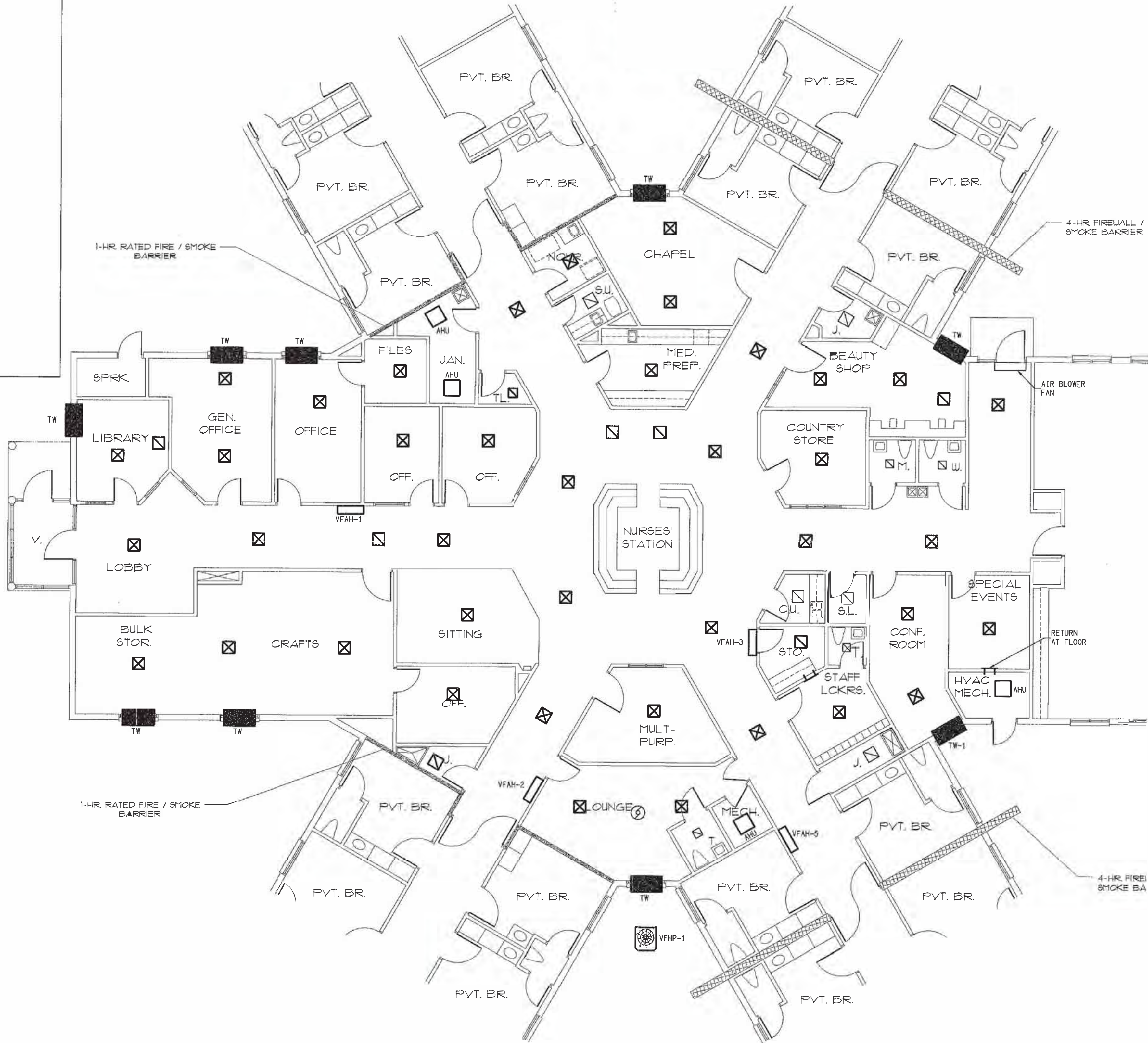
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TIME: 8:25 DATE: 02/27/2025 DRAWING LOCATION: F:\PROJECTS\2025\25005\Drawings\Drawings\25005.dwg

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	NEW SUPPLY GRILLE - WALL
	NEW SUPPLY GRILLE - CEILING
	NEW RETURN GRILLE - CEILING
	EXISTING SUPPLY GRILLE TO BE REUSED
	EXISTING RETURN GRILLE TO BE REUSED
	COMBINATION THERMOSTAT AND HUMIDISTAT
	RECTANGULAR DUCT - 20" WIDE INSIDE A/C SYSTEM - 10" HIGH INSIDE
	TURNING VANES
	RIGID ROUND DUCT - 10" I.D.
	FLEX DUCT - 10" I.D.
	REGISTER CFM
	BALANCING DAMPER
	REDUCER
	VENT FAN
	VENTILATION DUCT
	FRESH AIR DUCT
	DOAS SUPPLY DUCT
	DOAS RETURN DUCT
	EXISTING EQUIPMENT
	NEW EQUIPMENT



A Partial Mechanical Plan - Existing Center Core
M1 SCALE: 1/8" = 1' - 0"

PROJECT NAME	
COMPLIANCE SCHEDULE - MECHANICAL	
METHOD OF COMPLIANCE	PREScriptive
ENERGY COST BUDGET	4
THERMAL ZONE	
EXTERIOR DESIGN CONDITIONS	
WINTER DRY BULB	23° F
SUMMER DRY BULB	91° F
INTERIOR DESIGN CONDITIONS	
WINTER DRY BULB	70° F
SUMMER DRY BULB	75° F
RELATIVE HUMIDITY	50% - 60%
BUILDING HEATING LOAD	32,000 BTUH
BUILDING COOLING LOAD	52,000 BTUH
MECHANICAL SPACING CONDITIONING SYSTEM	
UNITARY	
DESCRIPTION OF UNIT -	SEE EQUIPMENT SCHEDULE
HEATING EFFICIENCY -	
COOLING EFFICIENCY -	
HEAT OUTPUT OF UNIT -	
COOLING OUTPUT OF UNIT -	

BOILER	
TOTAL BOILER OUTPUT (IF OVERSIZED STATE REASON)	N/A
CHILLER	
TOTAL CHILLER CAPACITY	N/A
LIST EQUIPMENT EFFICIENCIES	SEE EQUIPMENT SCHEDULE
EQUIPMENT SCHEDULES WITH MOTORS (MECHANICAL SYSTEM)	
MOTOR HORSEPOWER	N/A
NUMBER OF PHASES	N/A
MINIMUM EFFICIENCY	N/A
MOTOR TYPE	N/A
# OF POLES	N/A

DESIGNER STATEMENT
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE MECHANICAL SYSTEMS, SERVICE SYSTEMS, AND EQUIPMENT REQUIREMENTS OF THE NORTH CAROLINA STATE BUILDING CODE.

SIGNED: DAVID B. SIMS JR., PE

NAME: DAVID B. SIMS JR., PE

TITLE: ENGINEER

VENTILATION SCHEDULE							
FUNCTION OF SPACE	PRESSURE RELATIONSHIP TO ADJACENT AREA	MINIMUM OUTDOOR ACH	MINIMUM TOTAL ACH	ALL ROOM AIR EXHAUSTED DIRECTLY TO OUTDOORS	AIR RECIRCULATED BY MEANS OF ROOM UNITS	DESIGN RELATIVE HUMIDITY%	DESIGN TEMPERATURE °F/°C
BATHING ROOM	NEGATIVE	NR	10	YES	NO	NR	70-75/21-24
OCCUPATIONAL THERAPY	NR	2	6	NR	NR	NR	70-75/21-24
PHYSICAL THERAPY	NEGATIVE	2	6	NR	NR	NR	70-75/21-24
RESIDENT/GATHERING /ACTIVITY/DINING	NR	4	4	NR	NR	NR	70-75/21-24
RESIDENT ROOM	NR	2	2	NR	NR	NR	70-75/21-24
RESIDENT UNIT CORRIDOR	NR	NR	4	NR	NR	NR	NR

NR: NO REQUIREMENT

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NORTH CAROLINA
PROFESSIONAL
SEAL
007138
DAVID R. POLSTON
ARCHITECT

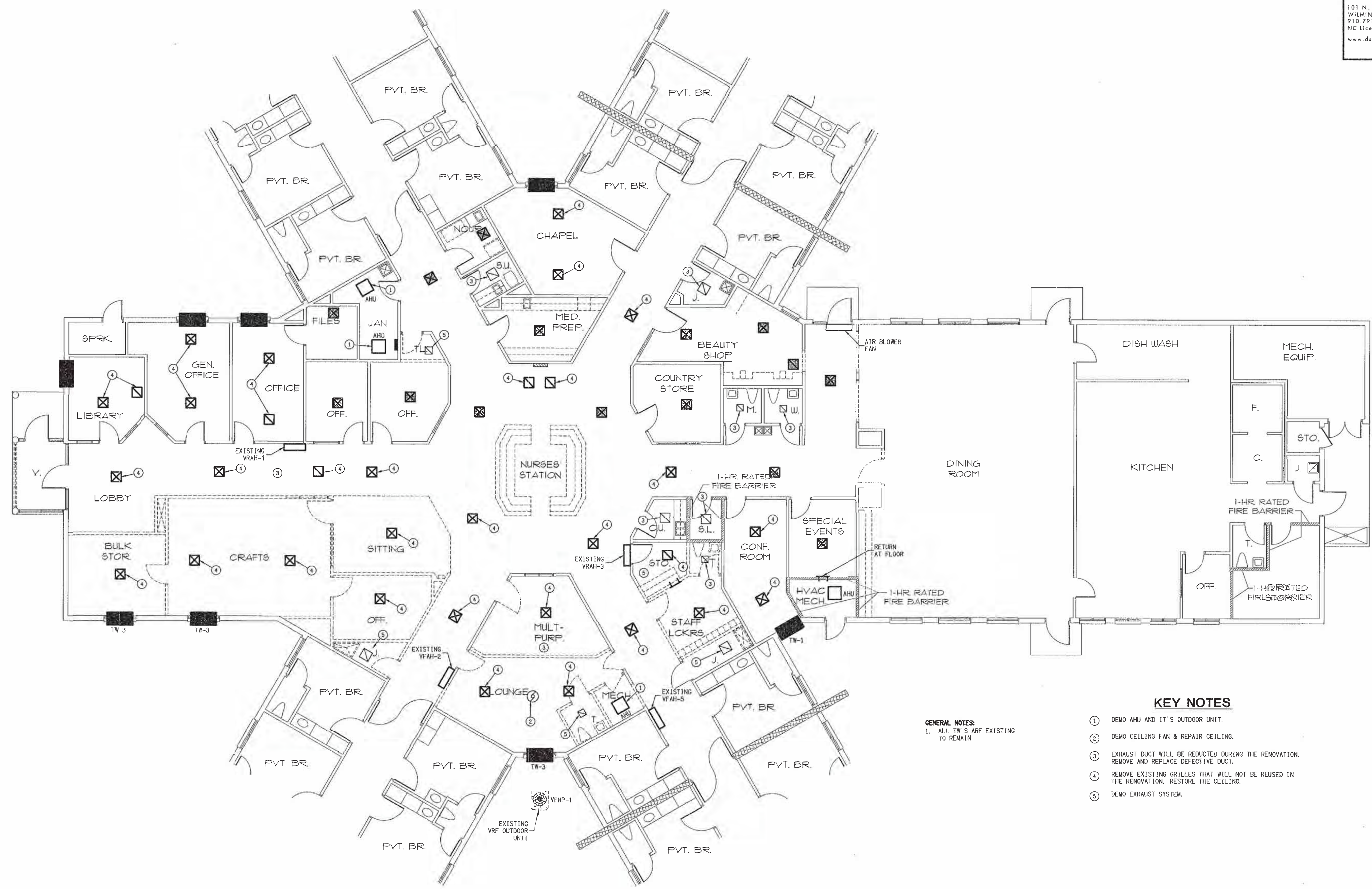
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2



GENERAL NOTES:
1. ALL TW'S ARE EXISTING
TO REMAIN

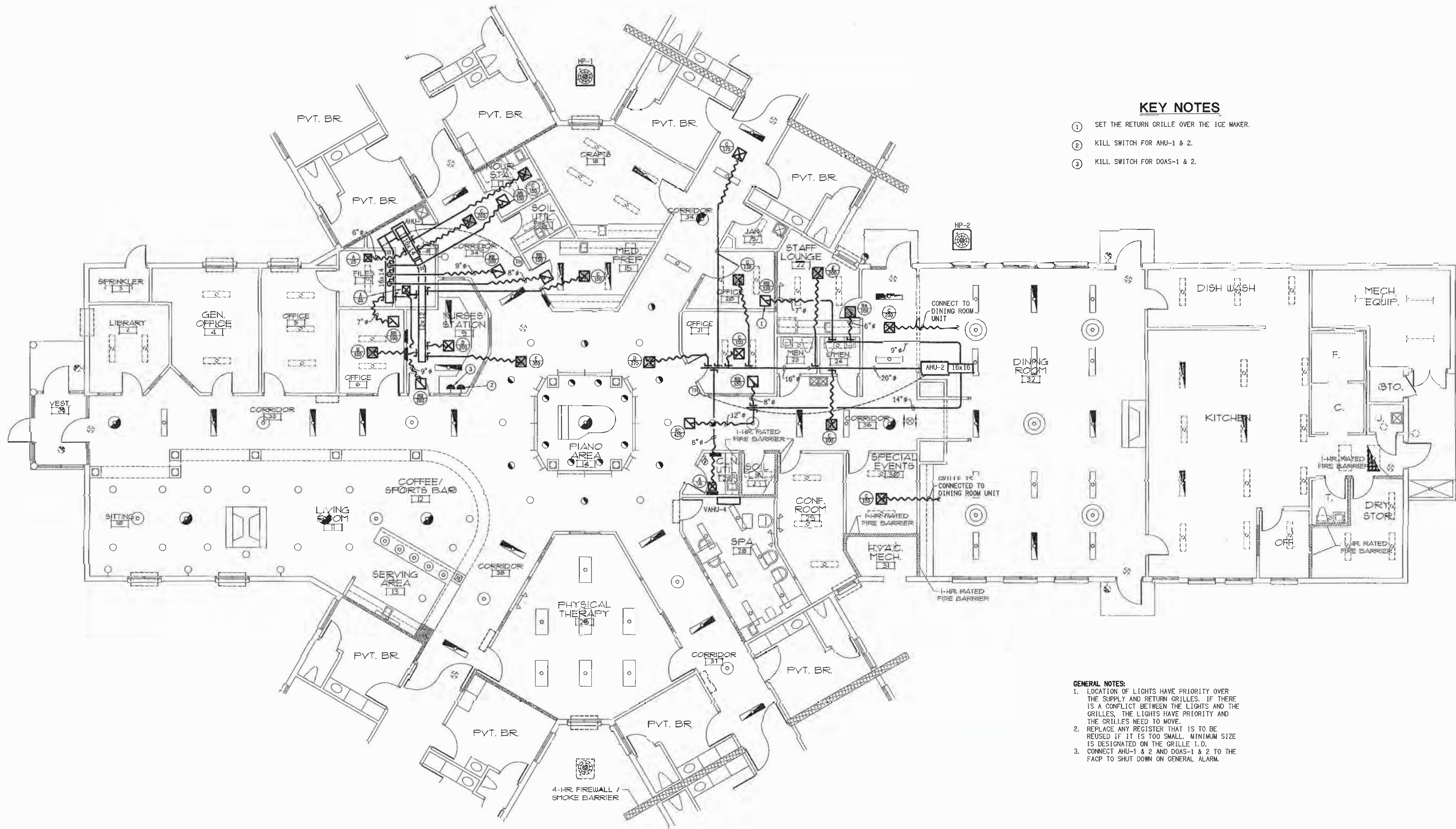
KEY NOTES

- 1 DEMO AHU AND IT'S OUTDOOR UNIT.
- 2 DEMO CEILING FAN & REPAIR CEILING.
- 3 EXHAUST DUCT WILL BE REDUCED DURING THE RENOVATION. REMOVE AND REPLACE DEFECTIVE DUCT.
- 4 REMOVE EXISTING GRILLES THAT WILL NOT BE REUSED IN THE RENOVATION. RESTORE THE CEILING.
- 5 DEMO EXHAUST SYSTEM.

A Partial Mechanical Demolition Plan - Center Core
M2 SCALE: 1/8" = 1'-0"

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- KEY NOTES**
1. SET THE RETURN GRILLE OVER THE ICE MAKER.
 2. KILL SWITCH FOR AHU-1 & 2.
 3. KILL SWITCH FOR DOAS-1 & 2.

- GENERAL NOTES:**
1. LOCATION OF LIGHTS HAVE PRIORITY OVER THE SUPPLY AND RETURN GRILLES. IF THERE IS A CONFLICT BETWEEN THE LIGHTS AND THE GRILLES, THE LIGHTS HAVE PRIORITY AND THE GRILLES NEED TO MOVE.
 2. REPLACE ANY REGISTER THAT IS TO BE REUSED IF IT IS TOO SMALL. MINIMUM SIZE IS DESIGNATED ON THE GRILLE I.D.
 3. CONNECT AHU-1 & 2 AND DOAS-1 & 2 TO THE FACP TO SHUT DOWN ON GENERAL ALARM.

A Partial Mechanical Plan - Center Core Renovation
M3 SCALE: 1/8" = 1' - 0"

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DATE: 02/21/2025
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1700 MECHANICAL SPECIFICATIONS

1701 GENERAL

- A. CODES, REGULATIONS AND STANDARD INSTALLATION ARE TO COMPLY WITH THE LATEST EDITION OF THE NORTH CAROLINA STATE BUILDING CODE, NFPA 90A, AND ALL OTHER APPLICABLE LOCAL AND NATIONAL CODES. IN THE CASE OF CONFLICT BETWEEN VARIOUS CODES, THEN THE MOST RESTRICTIVE SHALL TAKE PRECEDENT.
- B. FEES AND PERMITS: PROVIDE ALL LICENSES, FEES, PERMITS, INSURANCE, ETC., REQUIRED FOR THE EXECUTION OF THIS WORK.
- C. THE MECHANICAL CONTRACTOR SHALL PROVIDE ALL MATERIALS, PERFORM ALL WORK AND TEST AND PAY ALL FEES NECESSARY TO MAKE THE HEATING, AIR CONDITIONING AND VENTING SYSTEM COMPLETE AND READY FOR USE BY THE OWNER.
- D. GUARANTEE: ALL EQUIPMENT, MATERIALS AND INSTALLATION SHALL BE GUARANTEED TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF WORK OR IN ACCORDANCE WITH THE MANUFACTURER'S STANDARD GUARANTEE, IF LONGER. ALL COMPRESSORS SHALL HAVE A FIVE (5) YEAR GUARANTEE STARTING AFTER FINAL ACCEPTANCE OF WORK.
- E. IT IS UNDERSTOOD AND AGREED THAT THESE PLANS AND SPECIFICATIONS SHALL BE FULFILLED IN THEIR TRUE SPIRIT AND INTENT SO THAT ANY MINOR MATERIALS OR DEVICES ESSENTIAL TO PROPER AND CONVENIENT OPERATION, REQUIRED OR IMPLIED, SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR WITHOUT EXTRA CHARGE, EVEN THOUGH NOT SPECIFICALLY CALLED FOR.
- F. THE ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY.
- G. IN CASE OF CONFLICT BETWEEN THE PLANS AND SPECIFICATIONS OR CONFLICT BETWEEN INFORMATION PRESENTED ON THE PLANS OR IN THE SPECIFICATIONS, THEN THE MOST RESTRICTIVE SHALL TAKE PRECEDENT.
- H. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THIS OWN CLEAN UP AND REMOVAL OF SCRAP FROM THE JOB SITE. THE MECHANICAL CONTRACTOR SHALL MAINTAIN A CLEAN AND SAFE WORK AREA.
- I. DIVISION 1 SHALL BECOME A PART OF THESE SPECIFICATIONS BY REFERENCE.
- J. ALL MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS SHALL BE INSTALLED, SUPPORTED, AND RESTRAINED IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING CODE REQUIREMENTS FOR SEISMIC DESIGN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RETAIN A PROFESSIONAL ENGINEER COMPETENT IN THIS FIELD FOR THIS DESIGN. FOR ONE POSSIBLE SOURCE FOR THIS SERVICE, CONTACT SEISMIC CONTROL AND ISOLATION, INC. PHONE: 910-799-5204. ALL REQUIRED INSPECTIONS FOR THESE DRAWINGS SHALL BE PERFORMED BY QUALIFIED INSPECTORS AND AGENCIES HIRED BY THE OWNER OR OWNER'S AGENT.
- K. ALL ROOF MOUNTED MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS SHALL BE INSTALLED, SUPPORTED, AND RESTRAINED IN ACCORDANCE WITH THE NORTH CAROLINA BUILDING CODE REQUIREMENTS FOR WIND DESIGN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RETAIN A PROFESSIONAL ENGINEER COMPETENT IN THIS FIELD FOR THIS DESIGN. ALSO FOR WORK IN THE SEISMIC ZONE, ALL MECHANICAL, ELECTRICAL AND PLUMBING SHALL BE SECURED PER THE NORTH CAROLINA BUILDING CODE FOR SEISMIC CONSTRUCTION. FOR ONE POSSIBLE SOURCE FOR THIS SERVICE, CONTACT SEISMIC CONTROL AND ISOLATION, INC. PHONE: 910-799-5204. ALL REQUIRED INSPECTIONS FOR THESE DRAWINGS SHALL BE PERFORMED BY QUALIFIED INSPECTORS AND AGENCIES HIRED BY THE OWNER OR OWNER'S AGENT AS REQUIRED BY THE BUILDING CODE.
- L. THE CONTRACT DRAWINGS ARE SCHEMATIC ONLY AND ARE NOT INTENDED TO SHOW ALL FITTINGS, BOLTS, CONNECTIONS, OFFSETS, ETC., UNLESS SPECIFICALLY DIMENSIONED. THE MECHANICAL CONTRACTOR SHALL FOLLOW THE DRAWING AS CLOSELY AS POSSIBLE; HOWEVER, NECESSARY ADJUSTMENTS SHALL BE MADE AS REQUIRED TO CONFORM TO STRUCTURAL CONDITIONS, WORK OF OTHER CONTRACTORS AND THE INTENT OF THE DRAWINGS WITHOUT ADDITIONAL COST TO THE OWNER. THE DRAWINGS SHALL NOT BE SCALED. SECURE DIMENSIONS FROM ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ALL BUILDING COMPONENTS.

1702 SCOPE

- WORK SHALL INCLUDE BUT NOT BE LIMITED TO:
- A. PROVIDE AND INSTALL SPLIT SYSTEM HEAT PUMP SYSTEMS, DUCT AND REGISTERS.
- B. PROVIDE AND INSTALL VENT FANS AND DUCT.
- C. PROVIDE AND INSTALL ALL CONTROLS AND DUCT DETECTORS.
- D. PROVIDE ALL INCIDENTAL MATERIALS AND EQUIPMENT FOR A COMPLETE AND FUNCTIONING HVAC SYSTEM.
- E. PROVIDE ALL REQUIRED DEMOLITION.

1703 MATERIALS

- A. AIR CONDITIONING DUCT SHALL BE:
1. ALL HEATING AND COOLING MAIN SUPPLY AND RETURN DUCT SHALL BE GALVANIZED SHEET METAL WITH FIBERGLASS WRAP WITH FOIL BACKING, UL LABELED FOR CLASS 1 AIR DUCT MEETING NFPA 90 FLAME SPREAD AND SMOKE GENERATION REQUIREMENTS. DUCT INSULATION SHALL COMPLY WITH ALL NORTH CAROLINA ENERGY CODE REQUIREMENTS AND HAVE A MINIMUM R-VALUE AS SHOWN BELOW:
EXTERIOR R=6.0
INTERIOR R=6.0
2. INSULATION SHALL MEET ALL CODE REQUIREMENTS.
3. FLEX RUNOUTS SHALL BE FLEX DUCT BY ATCO OR EQUAL AND SHALL BE UL LABELED FOR CLASS 1 AIR DUCT MEETING NFPA 90 FLAME SPREAD AND SMOKE GENERATION REQUIREMENTS. MINIMUM R-VALUE SHALL BE R=6.
4. RIGID RUN OUTS SHALL BE GALVANIZED SHEET METAL WITH FIBERGLASS WRAP WITH FOIL BACKING WHICH MEET REQUIREMENTS OF ITEM 1.
5. PROVIDE SINGLE THICKNESS TURNING VANES IN MAIN SUPPLY AND RETURN DUCT AT TEES AND 90° ELLS.
6. FRESH AIR MAKE-UP SHALL BE CLASS 1 DUCT WITH INSULATION WHICH MEET REQUIREMENTS OF ITEM 1.
7. VENT DUCT:
- 6.1 VENT DUCT SHALL BE 26 GA. MINIMUM GALVANIZED SHEET METAL.
- 6.2 THE FIRST 3'-0" OF DUCT FROM THE EXTERIOR WALL SHALL BE INSULATED WITH INSULATION MEETING REQUIREMENTS OF ITEM 1 (MINIMUM R-VALUE SHALL BE 6.0).
- 6.3 VENTILATION DUCT FOR EXHAUST FAN MAY BE UNINSULATED EXCEPT AS REQUIRED BY ITEM 6.2.
- 6.4 THE VENTILATION DUCTS FOR ENERGY RECOVERY UNITS SHALL BE INSULATED AS FOLLOWS:
- 6.4.1 IN ATTICS OUTSIDE THE THERMAL ENVELOPE THE INCOMING EXHAUST AIR STREAM AND THE INCOMING DISCHARGE AIR STREAM ON THE FRESH AIR DUCTING SHALL BE INSULATED WITH THE INSULATION MEETING THE REQUIREMENTS OF ITEM 1.
- 6.4.2 IN ATTICS THAT ARE SEMI-CONDITIONED SPACES INSIDE THE THERMAL ENVELOPE ALL DUCTS (INCOMING AND DISCHARGE, VENT AND FRESH AIR) SHALL BE INSULATED WITH THE INSULATION MEETING THE REQUIREMENTS OF ITEM 1.
- B. THERMOSTAT CABLE SHALL BE UL APPROVED FOR THE APPLICATION.
- C. CONDENSATE PIPE SHALL BE 1" PVC WITH 1/2" ARMAFLEX TYPE INSULATION FOR INTERIOR RUNS.
- D. ALL RUNOUT SUPPLY DUCTS SHALL HAVE BALANCING DAMPERS.
- E. REFRIGERATION TUBING SHALL BE SIZED AND INSULATED AS PER MANUFACTURER'S RECOMMENDATIONS AND STATE BUILDING CODE REQUIREMENTS.
- F. ALL SUPPLY AND RETURN GRILLES SHALL HAVE FULLY INSULATED BACK UNLESS NOTED OTHERWISE.
- G. ALL INTAKE OPENINGS SHALL BE PROTECTED WITH A CORROSION RESISTANT SCREEN WITH OPENINGS GREATER THAN 1/4" AND NOT GREATER THAN 1".
- H. ALL EXHAUST OPENINGS (EXCEPT DRYER EXHAUST) SHALL BE PROTECTED WITH A CORROSION RESISTANT SCREEN WITH OPENINGS NOT LESS THAN 1/4" AND NOT GREATER THAN 1/2".
- I. FILTERS SHALL BE MERV-13.

1704 EXECUTION

- A. ALL JOBS SHALL BE DRILLED OR CUT, DO NOT BREAK HOLES.
- B. THE MECHANICAL CONTRACTOR SHALL DO ALL CUTTING, PATCHING, AND PAINTING NECESSARY TO INSTALL ALL EQUIPMENT AS REQUIRED UNDER THIS CONTRACT, AND SHALL ESTABLISH ALL FINISHES WHEN CUTTING AND PATCHING OCCUR TO THEIR ORIGINAL CONDITION. QUALIFIED WORKERS SHALL DO ALL CUTTING AND PATCHING WORK (I.E. DRY WALL CUTTING AND PATCHING SHALL BE DONE BY QUALIFIED DRY WALL CRAFTSMEN.)
- C. CONTRACTOR SHALL BALANCE THE AIR CONDITIONING SYSTEM AS SHOWN ON THE PLANS WITHIN 10% OF THE NUMBER SHOWN. CONTRACTOR SHALL SUBMIT A BALANCING REPORT SHOWING THE ACTUAL CFM READINGS OF ALL SUPPLY REGISTERS TO THE ARCHITECT AT THE COMPLETION OF THE PROJECT.
- D. UNLESS NOTED OTHERWISE THE DUCT DIMENSIONS SHOWN REFER TO THE DUCTS INSIDE FREE AIR SPACE DIMENSION. ROUND OR RECTANGULAR DUCT MAY BE USED IN PLACE OF THE TYPE OF DUCT SHOWN AS LONG AS THE FOLLOWING REQUIREMENTS ARE MET:
1. THE REPLACEMENT DUCT SIZE SHALL HAVE A STATIC PRESSURE DROP AND AVERAGE DUCT VELOCITY EQUAL TO OR LESS THAN THE DUCT SIZE SHOWN ON THE DRAWINGS.
2. THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE NEW DUCT DESIGN, INCLUDING BUT NOT LIMITED TO, FIT, CLEARANCES AND EFFECTS ON OTHER TRADES.
- E. CONTRACTOR SHALL SUPPLY ALL HANGERS AND SUPPORTS NECESSARY TO SUSPEND DUCT WORK AND EQUIPMENT AS PER GOOD INSTALLATION PRACTICE.
- F. ALL DUCT SHALL BE CONSTRUCTED, SUPPORTED AND REINFORCED PER SMACNA STANDARDS.
- G. MECHANICAL CONTRACTOR SHALL PROVIDE ALL THERMOSTATS, CONTROL, RELAY, STARTERS ETC., FOR A COMPLETE CONTROL SYSTEM FOR THE HEAT PUMP UNITS.
- H. MECHANICAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR PENETRATIONS AND PATCHING.
- I. MECHANICAL CONTRACTOR SHALL PROVIDE CONDENSATE PUMPS WHERE GRAVITY DRAINAGE OF CONDENSATE IS NOT POSSIBLE WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
- J. INSTALLATION SHALL COMPLY WITH ALL NORTH CAROLINA STATE ENERGY CODE REQUIREMENTS.
- K. ALL REFRIGERATION PIPING AND CONDENSATE PIPING SHALL BE PROPERLY SUPPORTED AS PER MANUFACTURERS RECOMMENDATIONS, NORTH CAROLINA BUILDING CODE, AND GOOD PIPING PRACTICES. PROPER DRAINAGE OF CONDENSATE LINES SHALL BE MAINTAINED.
- L. ALL MATERIALS AND EQUIPMENT SHALL BE PROPERLY INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS AND GOOD PRACTICE.
- M. THERE WILL BE MINIMUM 25" CLEARANCE BETWEEN OUTSIDE AIR INTAKES AND ALL BUILDING EXHAUSTS AND PLUMBING VENTS.
- N. HORIZONTAL AIR HANDLER INSTALLATIONS SHALL INCLUDE VIBRATION ISOLATION SUPPORTS. VERTICAL FLOOR MOUNTED AIR HANDLERS SHALL BE SUPPORTED ON CORK PADS.
- O. AIR INTAKE AND EXHAUST WEATHER CAPS, GRILLES, AND LOUVERS SHALL BE SIZED TO PRODUCE A STATIC PRESSURE DROP OF .05" OR LESS AT DESIGN AIR FLOW. WEATHER CAPS SHALL BE ALUMINUM BY GREENHECK OR EQUAL.
- P. DUCT SYSTEMS SHALL BE SEALED STRICTLY AS PER NORTH CAROLINA ENERGY CODE.
- Q. ALL DUCT WORK TRANSITIONS SHALL BE SUPPLIED AS REQUIRED FOR CONNECTION OF ALL DUCTED EQUIPMENT AND SYSTEM COMPONENTS.
- R. ALL OUTSIDE AIR INTAKE DUCTS (ONE FOR EACH AIR HANDLER) SHALL HAVE BACKDRIFT DAMPERS BALANCED TO OPEN AND ALLOW IN OUTSIDE AIR AS INDICATED ON DRAWINGS. WHEN AIR HANDLER FAN IS RUNNING, THE USE OF ELECTRICALLY DRIVEN DAMPERS TIED TO THE AIR HANDLER OPEN WHEN FAN IS ON, CLOSED WHEN FAN IS OFF, SHALL BE AN ACCEPTABLE ALTERNATE. ALL ELECTRICAL CONNECTIONS SHALL BE COORDINATED WITH ELECTRICIAN.
- S. PROVIDE OPERATIONS AND MAINTENANCE MANUALS TO OWNER FOR ALL EQUIPMENT.

1705 ELECTRICAL CONNECTIONS

- ELECTRICAL CIRCUIT SIZES AND NUMBER ARE BASED ON THE MANUFACTURER OF THE EQUIPMENT SPECIFIED, AND IT SHALL BE THE RESPONSIBILITY OF THE HEATING AND AIR CONDITIONING CONTRACTOR TO CHANGE ANY AND ALL ELECTRICAL WORK IN ORDER TO FIT EQUIPMENT OTHER THAN THAT SPECIFIED. THE HEATING AND AIR CONDITIONING CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR AND THE OWNER TO ASSURE THAT ALL UNITS ARE PROPERLY CONNECTED AND SHALL CHECK THE WIRING PRIOR TO STARTING UNITS. TERMINATION OF ELECTRICAL POWER WILL BE AS FOLLOWS:
1. ELECTRICAL CONTRACTOR SHALL PROVIDE AND CONNECT ALL POWER TO THE MECHANICAL EQUIPMENT.
2. MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL THE CONTROL AND THERMOSTAT SYSTEMS FOR THE HEATING, AIR CONDITIONING SYSTEMS.
3. MECHANICAL CONTRACTOR SHALL PROVIDE THE EMERGENCY SHUTDOWN CONTROLS AND COORDINATE WITH THE ELECTRICAL CONTRACTOR ON DUCT DETECTOR INSTALLATION AND AIR HANDLING UNIT SHUTDOWN.
4. MECHANICAL CONTRACTOR SHALL PROVIDE ANY REQUIRED ELECTRICAL CONNECTIONS FOR CONDENSATE PUMPS WITHOUT ADDITIONAL COST TO THE OWNER.

1706 TESTS

- A. ALL HEATING COOLING AND VENTILATION EQUIPMENT, UPON COMPLETION, SHALL BE TESTED FOR AT LEAST ONE (1) DAY AND SHALL BE SHOWN TO BE IN SATISFACTORY CONDITION ON BOTH HEATING AND COOLING.
- B. CONTRACTOR SHALL SUPPLY ALL NECESSARY LABOR AND EQUIPMENT FOR THE TEST.

1707 SUBSTITUTION

- ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE SHOWN OR SPECIFIED AND SHALL BE OF THE VERY BEST QUALITY AS SPECIFIED. REQUESTS TO SUBSTITUTE OTHER MATERIALS OR PRODUCTS FOR THOSE SPECIFIED SHALL BE SENT IN WRITING TO THE OWNER. REQUESTS SHALL BE ACCOMPANIED BY ENGINEERING DATA, SPECIFICATION SHEETS, ETC., AS NECESSARY TO FULLY IDENTIFY AND APPRAISE THE PRODUCTS. APPROVAL OF EQUIPMENT WILL NOT RELIEVE THE CONTRACTOR OF NONCOMPLIANCE WITH THE SPECIFICATIONS EVEN IF SUCH APPROVAL IS MADE IN WRITING, UNLESS THE ENGINEER IS CALLED TO THE NONCONFORMING FEATURES BY LETTER ACCOMPANYING THE SUBMITTAL DATA.

1708 VISIT TO SITE

- ALL BIDDERS ON THIS WORK SHALL VISIT THE SITE AND THOROUGHLY FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS BEFORE SUBMITTING THEIR BIDS. NO ALLOWANCE WILL BE MADE FOR LACK OF KNOWLEDGE OF EXISTING CONDITIONS.

1709 SHOP DRAWINGS

- AS SOON AS POSSIBLE (AND NOT MORE THAN 30 DAYS) AFTER CONTRACT IS SIGNED, THE CONTRACTOR SHALL SUBMIT FIVE (5) COPIES OF SHOP DRAWINGS OF HEAT PUMPS, REGISTERS, FANS, ANY SPECIAL EQUIPMENT WHICH HE INTENDS TO USE. FOUR (4) COPIES OF THIS DATA WILL BE RETURNED BY THE ENGINEER WHO WILL INDICATE APPROVAL OR OTHERWISE.

1710 FIRE RATED WALLS, FLOORS & CEILINGS

- CONTRACTOR SHALL DETERMINE LOCATION OF ALL FIRE AND SMOKE RATED WALLS, FLOORS AND CEILINGS FROM ARCHITECTURAL DRAWINGS. PIPING PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL BE AS REQUIRED BY NORTH CAROLINA BUILDING CODE WITH APPROVED AND APPROPRIATELY RATED UL FIRESTOP SYSTEMS AT ALL PENETRATIONS. ALL DUCT PENETRATIONS SHALL BE PROPERLY PROTECTED WITH RADIATION OR FIRE DAMPERS WITH ALL INSTALLATION STRICTLY AS PER MANUFACTURERS RECOMMENDATIONS.

1711 PLACING IN SERVICE

- UPON COMPLETION OF THE ENTIRE SYSTEM, THE MECHANICAL CONTRACTOR SHALL INSTALL NEW AIR FILTERS AND LEAVE ENTIRE SYSTEM CLEAN AND READY FOR OPERATION. THE MECHANICAL CONTRACTOR SHALL DEMONSTRATE THE PROPER FUNCTION OF THE ENTIRE SYSTEM. THE MECHANICAL CONTRACTOR SHALL ACQUAINT THE OWNERS REPRESENTATIVE WITH THE PROPER OPERATION OF THE ENTIRE SYSTEM.

1712 DEMOLITION

- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED MECHANICAL DEMOLITION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TESTING FOR ASBESTOS, LEAD BASED PAINT OR OTHER HAZARDOUS MATERIALS BEFORE DEMOLITION. IF SUCH MATERIALS ARE FOUND, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIAL ACTION. STATE AND FEDERAL REGULATIONS BY CONTRACTOR CERTIFIED AND LICENSED FOR THIS WORK. ALL DEMOLITION AND DISPOSAL SHALL BE AS PER ALL PERTINENT LOCAL, STATE AND FEDERAL REGULATIONS. CONTRACTOR SHALL PRESENT OWNER WITH WORK PLAN AND DISPOSAL PLAN FOR ALL HAZARDOUS MATERIALS AND SUBSTANCES. THE CONTRACTOR SHALL DELIVER TO THE OWNER ALL ITEMS THE OWNER WISHES TO RETAIN. ALL OTHER EQUIPMENT AND DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE REMOVED FROM THE SITE.

SPLIT SYSTEM HEAT PUMP SCHEDULE

COMPRESSOR								AIR HANDLING UNIT															
SYMBOL	COOLING CAPACITY (TONS)	ELECTRIC				MFG.	MODEL	SYMBOL	TYPE	STRIP (KW)	ELECTRIC				MFG.	MODEL	FAN CFM	FRESH AIR INTAKE (CFM)	ESP (IN OF H2O) VERT/H.L.R.	SEER	DUCT DETECTOR	HUMIDITY CONTROL	REMARKS
		VOLT	PHASE	MCA	MOCP						VOLT	PHASE	MCA	MOCP									
HP-1	3 TONS	208	1ø	18	30	TRANE	4TWR4036N	AHU-1	VERT.	7.2	208	1ø	49	50	TRANE	TEM6AC36H	1,200	150	0.7	-	NO	YES	-
HP-2	3 TONS	208	1ø	18	30	TRANE	4TWR4036N	AHU-2	HORIZ.	7.2	208	1ø	49	50	TRANE	TEM6AC36H	1,180	150	0.7	-	NO	YES	-

NOTES A/C UNITS:

1. PROVIDE GALVANIZED DRIP PANS WITH FLOAT SWITCHES.
2. INCLUDE AUTOMATIC CROSSOVER THERMOSTAT SET AT 5°-40° AFF. PROVIDE PROGRAMMABLE THERMOSTATS WITH SETBACK TO 55° (HEAT AND 85° (COOL), 7 DAY CLOCK, 2 HOUR OCCUPANT OVERRIDE, 10 HOUR BACKUP. PROVIDE 5° DEAD BAND FOR AUTO CHANGEOVER.
3. PROVIDE CONCRETE PAD FOR COMPRESSORS. SECURE OUTDOOR UNIT TO CONCRETE PAD.
4. ALL INTAKE DUCTS SHALL HAVE ALUMINUM WEATHER CAPS, TO PREVENT THE INTAKE OF RAIN. INTAKE DEVICE SHALL BE APPROVED BY THE ENGINEER. PAINT INTAKE THE SAME COLOR AS THE ROOF.
5. CONTRACTOR SHALL BALANCE SYSTEM. CONTRACTOR SHALL PRESENT BALANCING REPORT TO ARCHITECT AT FINAL INSPECTION.
6. CONTRACTOR SHALL CONSTRUCT FILTER HOUSING AND PROVIDE FILTERS AT EACH AHU. FILTER SHALL BE SIZED PER MFG. RECOMMENDATIONS. PROVIDE MERV-13 FILTERS.
7. PROVIDE FRENCH DRAINS PER N.C. STATE CODE FOR CONDENSATE DISCHARGE OR DROP CONDENSATE ON ROOF IF ACCEPTABLE TO LOCAL AUTHORITIES. AVOID NUISANCE PUDDLING.
8. PROVIDE MANUFACTURER RECOMMENDED CLEARANCES AROUND ALL INDOOR AND OUTDOOR UNITS.
9. CONSULT WITH COMPRESSOR MANUFACTURER FOR THE CORRECT SIZING OF REFRIGERANT LINES.
10. PROVIDE KILL SWITCH AT NURSE'S STATION AND CONNECT TO THE FACP TO SHUTOFF ON GENERAL ALARM.
11. PROVIDE LOW AMBIENT CONTROLS FOR FREEZE PROTECTION.
12. PROVIDE CONTROLS THAT PREVENT AUXILIARY HEAT STRIPS FROM BEING ACTIVATED WHEN THE HEAT PUMP CAN HANDLE THE HEATING LOAD EXCEPT DURING DEFROST CYCLE.
13. PROVIDE HUMIDISTAT. HUMIDISTAT SHALL ACTIVATE THE COOLING CYCLE UPON HIGH HUMIDITY CALL. THE THERMOSTAT SHALL BE CAPABLE OF OPERATING THE HEAT STRIPS FOR TEMPERATURE CONTROL WHILE A HIGH HUMIDITY CALL IS BEING MADE. CONSULT WITH EQUIPMENT MANUFACTURER FOR WIRING DIAGRAM.
14. PROVIDE GRAVITY BACKDRAFT DAMPER OR MOTORIZED DAMPER FOR OUTDOOR AIR.

FRESH AIR MAKE UP UNIT SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	ELECTRIC				S.P.	SUPPLY	RETURN	WINTER OUTSIDE AIR		WINTER COND AIR		SUMMER OUTSIDE AIR		SUMMER COND AIR		LA SUMMER		LA WINTER		COMP	TOTAL COOLING CAP	TOTAL HEATING CAP	SHIPPING WEIGHT	REMARKS
				VOLT	PHASE	MCA	BREAKER				TEMP	RH	TEMP	RH	TEMP	WB	TEMP	WB	TEMP	WB	TEMP	WB					
DOAS-2	100% FRESH AIR MAKE UP	ALPHA AIRE	AAH100G1ASTA3	208	1ø	10.4	15/2	1"	400 CFM	400 CFM	15° F	80%	70° F	42%	93.2° F	80.8° F	77° F	65.3° F	78.2° F	61.9° F	77.6° F	58.6° F	0.75 TON	31,900	40,000	750 LBS.	-

NOTES:

1. PROVIDE MERV-13 FILTER 12"x24" RACK.
2. COORDINATE WITH GC TO ENLARGE ATTIC ACCESS PORT TO ALLOW A 28"x30" UNIT.
3. PROVIDE CONDENSATE PIPING OR CONDENSATE PUMP.
4. AIR BALANCE FOR DOAS UNITS MUST BE 15% MAXIMUM.
5. PROVIDE MEANS TO BALANCE AIR AT UNIT.

FRESH AIR MAKE UP UNIT SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	DISCHARGE	INTAKE	ELECTRIC					AIR SUPPLY	MINIMUM AIR FLOW	WEIGHT (LBS)	COOLING CAPACITY		REMARKS
						VOLT	PHASE	FLA	MCA	BREAKER				GROSS CAPACITY	GROSS SENSIBLE CAPACITY	
DOAS-1	FRESH AIR MAKE UP	HORIZON	DADE-109F3-01B4C1KE-D3000AF005003B001A0	VERTICAL	HORIZONTAL	208	3ø	90.6	111.6	125/3	1000 CFM	786 CFM	1,532	90.5 MBH	47.8 MBH	ASHP

FRESH AIR MAKE UP UNIT NOTES:

1. PROVIDE MERV-13 FILTERS.
2. PROVIDE CONCRETE PAD & SECURE UNIT TO THE CURB.
3. HP HEATING

FAN SCHEDULE

SYMBOL	DESCRIPTION	CFM	SP	SET CFM	VOLT	PHASE	HP	AMPS	MOUNTING	MFG.	MODEL	REMARKS
F-1	INLINE FAN	1439	3/8	1010	120	1	-	-	INLINE	GREENHECK	CSP-A1410-QD	-
F-2	INLINE FAN	566	3/8	460	120	1	-	-	INLINE	GREENHECK	CSP-A710-QD	-

FAN NOTES:

1. PROVIDE BACK DRAFT DAMPER.
2. PROVIDE VARIABLE SPEED CONTROL.

REGISTER SCHEDULE

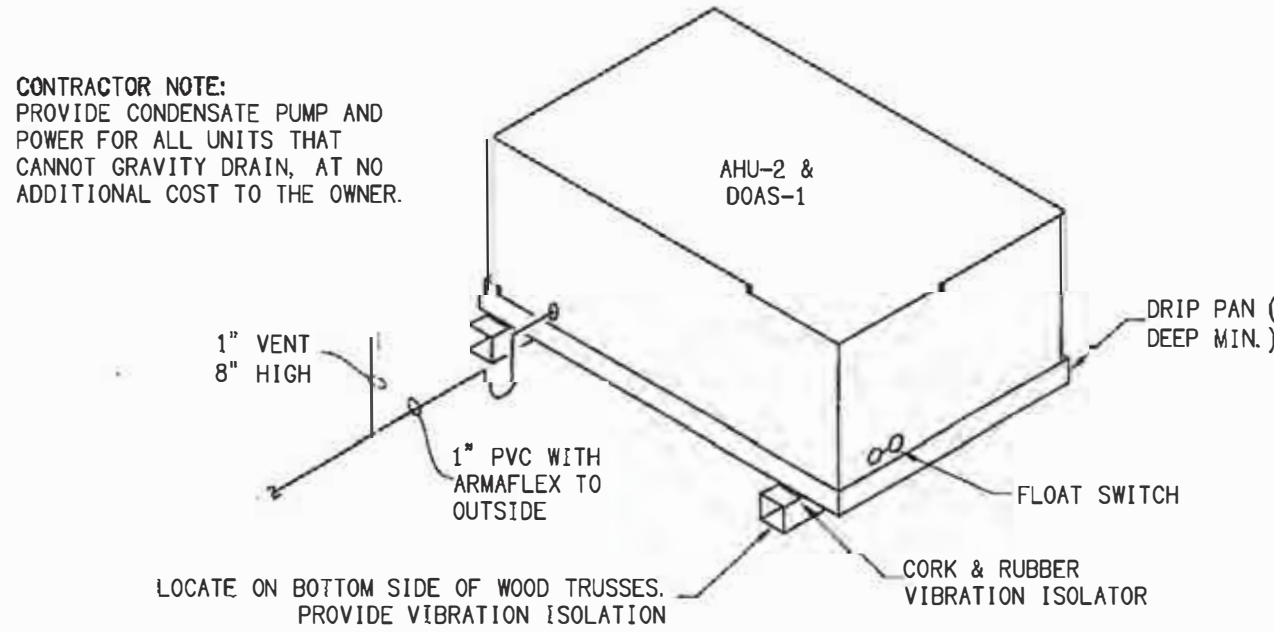
SYMBOL	DESCRIPTION	NECK	RUN OUT	FIRE DAMPER	MATERIAL	COLOR	MFG.	MODEL	REMARKS
A	LOUVERED FACE 4-WAY SUPPLY	6x6	6"ø	YES	STEEL	WHITE			MATCH EXISTING STYLE
B	LOUVERED FACE 4-WAY SUPPLY	6x6	7"ø	YES	STEEL	WHITE			MATCH EXISTING STYLE
C	LOUVERED FACE 4-WAY SUPPLY	9x9	8"ø	YES	STEEL	WHITE			MATCH EXISTING STYLE
D	LOUVERED FACE 4-WAY SUPPLY	9x9	9"ø	YES	STEEL	WHITE			MATCH EXISTING STYLE
E	LOUVERED FACE 4-WAY SUPPLY	12x12	10"ø	YES	STEEL	WHITE			MATCH EXISTING STYLE
RA	LOUVERED FACE RETURN	8x8	-	YES	STEEL	WHITE			MATCH EXISTING STYLE
RB	LOUVERED FACE RETURN	12x12	-	YES	STEEL	WHITE			MATCH EXISTING STYLE
RC	LOUVERED FACE RETURN	18x18	-	YES	STEEL	WHITE			MATCH EXISTING STYLE

ROOF MOUNTED GRAVITY VENTILATOR

SYMBOL	TYPE	CFM	SIZE	MFG.	MODEL	MATERIAL	REMARKS
DC-1	DISCHARGE	810	16	GREENHECK	GRS-16	ALUMINUM	-
DC-2	DISCHARGE	1,010	20	GREENHECK	GRS-20	ALUMINUM	-
IC-1	INTAKE	900	18	GREENHECK	GRS-18	ALUMINUM	-
IC-2	INTAKE	150	8	GREENHECK	GRS-8	ALUMINUM	-

GRAVITY VENTILATOR NOTES:

1. PROVIDE ROOF CURB.
2. FOR IC-1 & 2, THE INTAKE SHALL BE 37" ABOVE THE ROOF.



CONTRACTOR NOTE:
PROVIDE CONDENSATE PUMP AND POWER FOR ALL UNITS THAT CANNOT GRAVITY DRAIN, AT NO ADDITIONAL COST TO THE OWNER.

A	Horizontal AHU Condensate Piping
M5	SCALE: NTS (ATTIC UNITS)

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THE CARROLTON OF NASH
NURSNG FACULTY
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Architecture Planning Design

BUILDING RENOVATIONS

M5

symbol	date	description	by
REVISIONS			

















ELECTRICAL ABBREVIATIONS

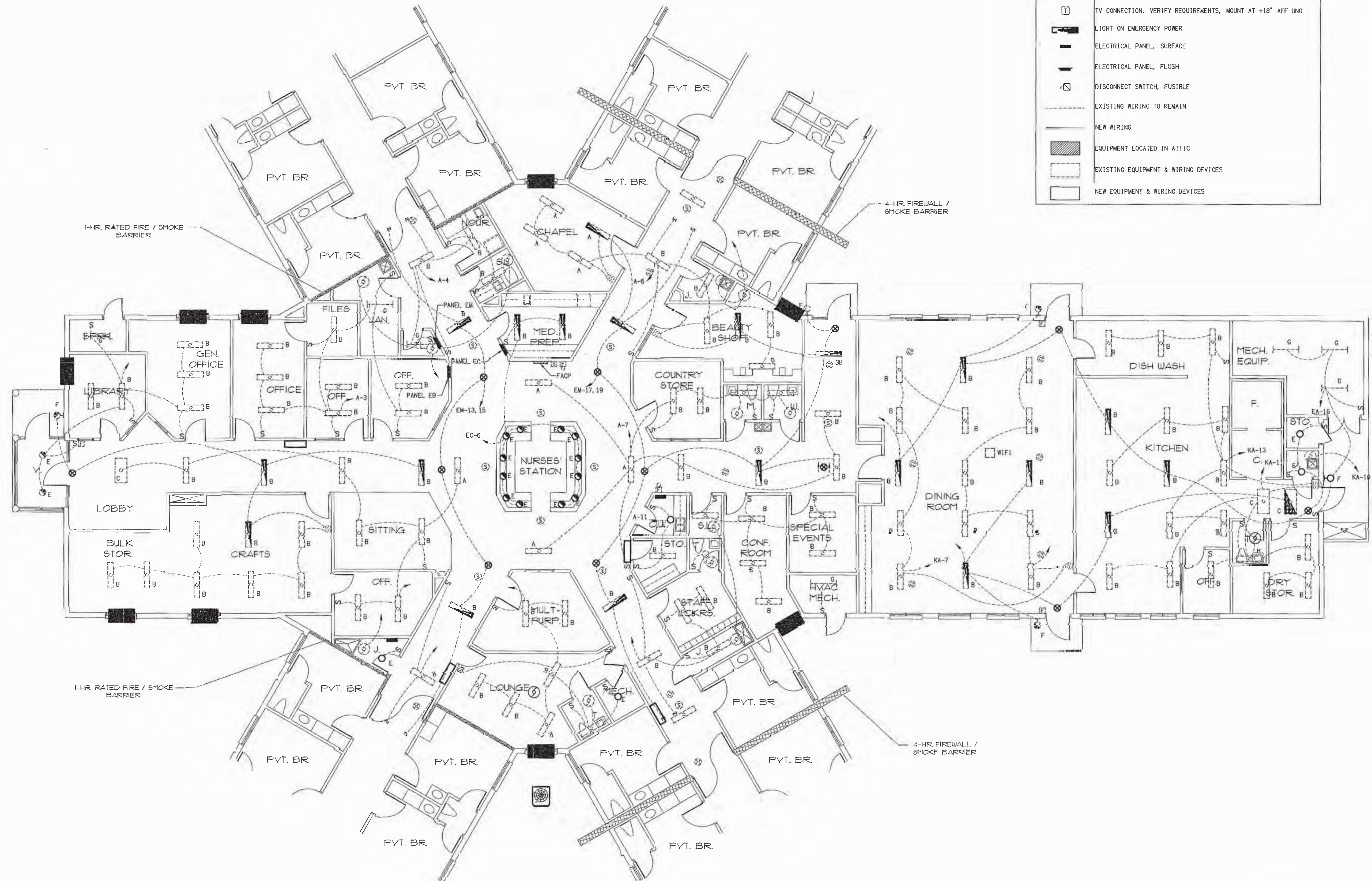
AF	ABOVE FINISHED FLOOR
GF	GROUND FAULT INTERRUPTING
3R	WEATHERPROOF ENCLOSURE
UNO	UNLESS NOTED OTHERWISE
RGS	RIGID GALVANIZED STEEL
WP	WEATHERPROOF
AHU	AIR HANDLING UNIT
HP	HEAT PUMP
ER	EXISTING TO REMAIN

NOTES:
1. FOR 20A - 1Ø - 120 VOLT SERVICE WIRE
SIZE SHALL BE AS FOLLOWS:

<u>DIST TO 1st CONNECTION</u>	<u>WIRE SIZE</u>
60' TO LESS	#12
60' TO 100'	#10
OVER 100'	#8

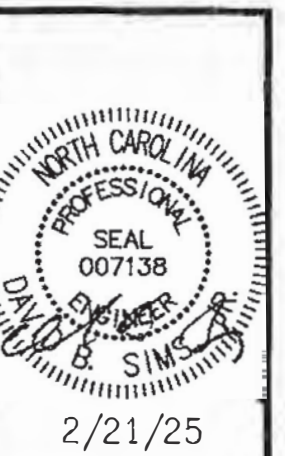
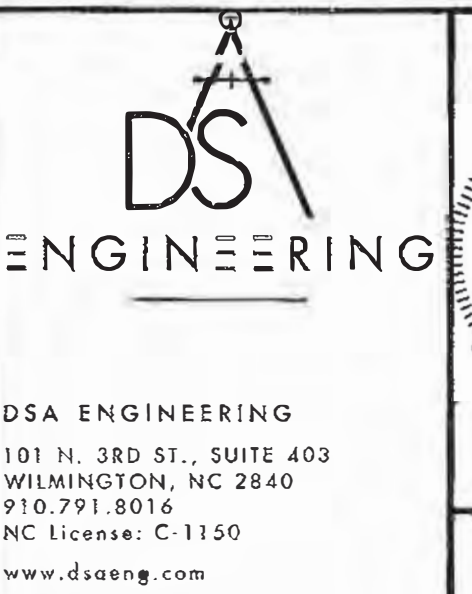
ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
S	SWITCH, SINGLE POLE, 120/277VAC, MOUNTED AT 48" AFF TO TOP OF OUTLET BOX
Sos	OCCUPANCY SENSOR WITH ON/OFF SWITCH, 120VAC, MOUNTED AT 48" AFF TO TOP OF OUTLET BOX.
D	DIMMER, SINGLE POLE, 120/277VAC, MOUNTED AT 48" AFF TO TOP OF OUTLET BOX
Dos	OCCUPANCY SENSOR WITH DIMMING AND ON/OFF SWITCH, 120VAC, MOUNTED AT 48" AFF TO TOP OF BOX
	OCCUPANCY SENSOR, CEILING MOUNT, LUTRON OR EQUAL
	DUPLEX CONVENIENCE RECEPTACLE, 120VAC, MOUNTED AT 18" AFF TO CENTER OF OUTLET BOX, UNO
	DUPLEX CONVENIENCE RECEPTACLE ON EMERGENCY POWER, 120VAC, MOUNTED AT 18" AFF TO CENTER OF OUTLET BOX, UNO
	CONVENIENCE RECEPTACLE, 120V, FLOOR MOUNT, COVER FLUSH W/ BRUSHED STAINLESS STEEL COVERPLATE
	PHONE/DATA OUTLET, MOUNTED AT 18" AFF TO CENTER OF OUTLET BOX UNO
	JUNCTION BOX
	TV CONNECTION. VERIFY REQUIREMENTS, MOUNT AT +18" AFF UNO
	LIGHT ON EMERGENCY POWER
	ELECTRICAL PANEL, SURFACE
	ELECTRICAL PANEL, FLUSH
	DISCONNECT SWITCH, FUSIBLE
	EXISTING WIRING TO REMAIN
	NEW WIRING
	EQUIPMENT LOCATED IN ATTIC
	EXISTING EQUIPMENT & WIRING DEVICES
	NEW EQUIPMENT & WIRING DEVICES



A	Partial Lighting Plan - Existing Center Core
E1	SCALE: 1/8" = 1' - 0"

symbol	date	description	by
REVISIONS			



THE CARROLTON OF NASH
NURSING FACILITY
Rocky Mount, North Carolina

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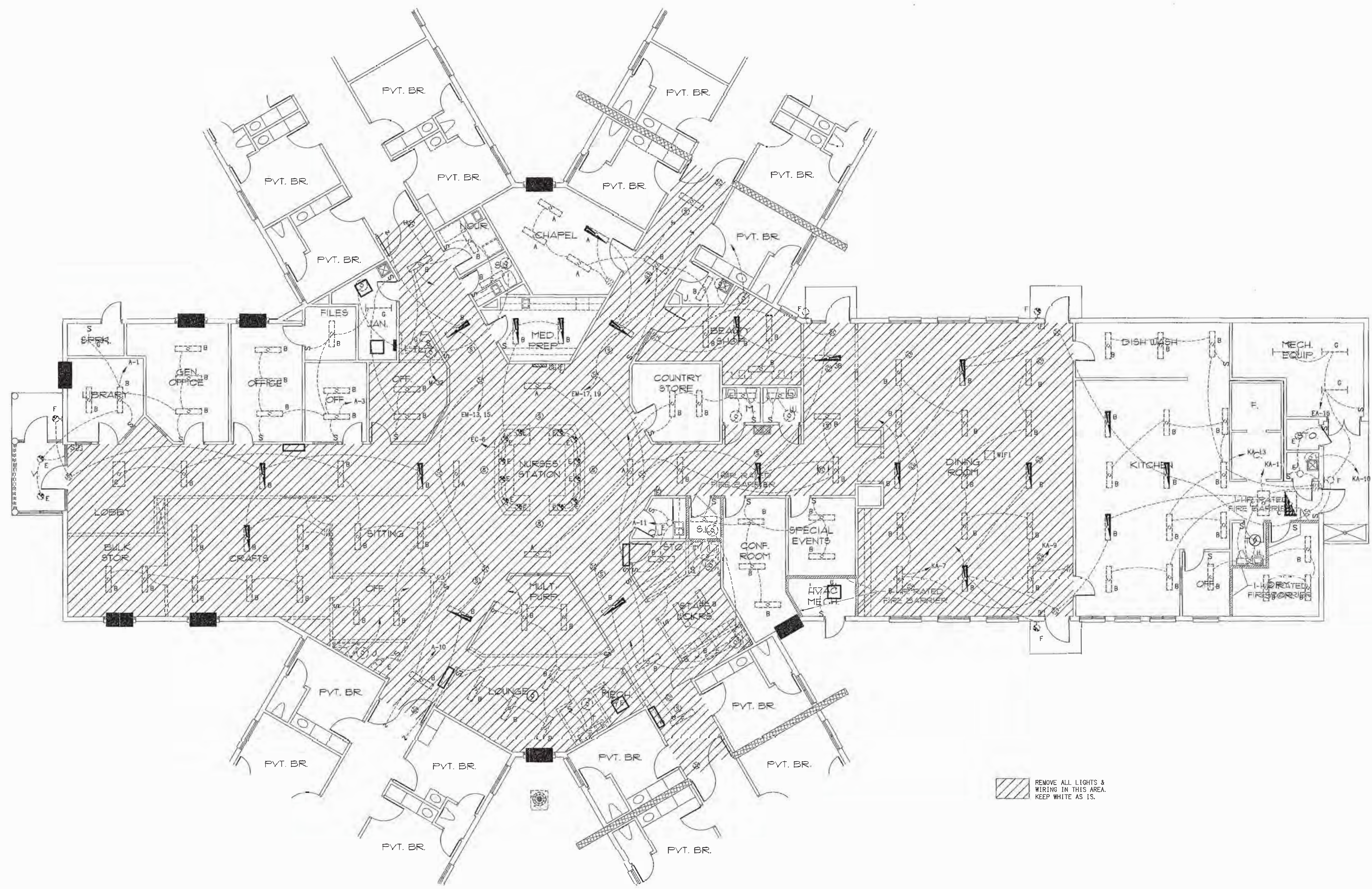
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THE CARROLTON OF NASH
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2



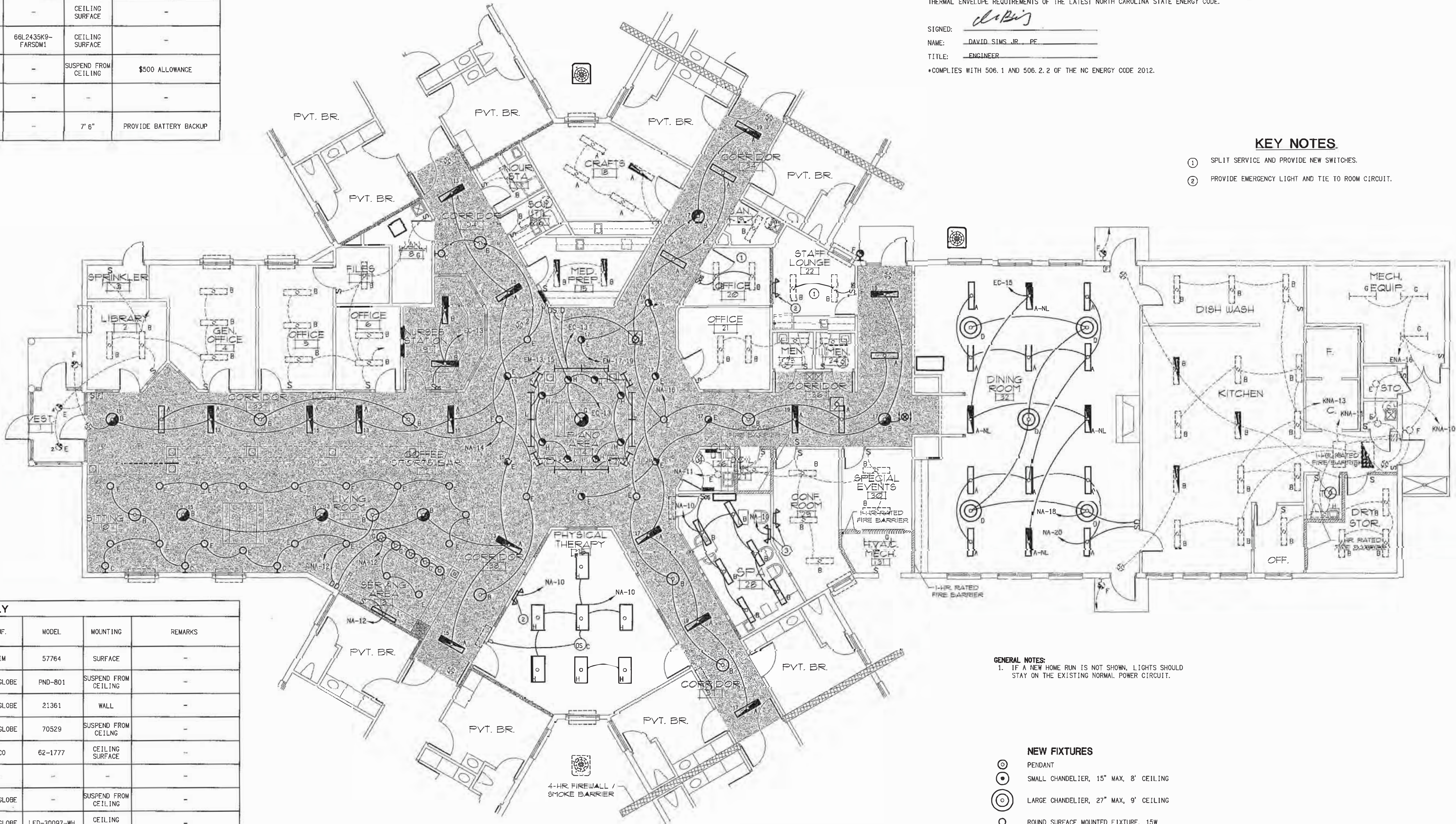
A Partial Lighting Demolition Plan - Existing Center Core
E2 SCALE: 1/8" = 1' - 0"

symbol	date	description	by
REVISIONS			

TIME: 9:28 DATE: 02/21/2025 DRAWING LOCATION: F:\PROJECTS\2025\2506\2506.dwg

LIGHTING FIXTURE SCHEDULE - FOR UNSHADED AREAS									
SYMBOL	DESCRIPTION	LAMP				STATUS	MANUF.	MODEL	REMARKS
		NO.	WATT	TYPE	VOLT				
A	2'x4' BOX	4	32	F	120	EXISTING	-	-	SURFACE
B	1'x4' BOX	2	32	F	120	EXISTING	-	2TG30L840-2- FS-02F-UNV	SURFACE
B	2'x4' BOX	2	32	F	120	EXISTING REUSE	DAY-BRITE	-	SURFACE
C	LAY-IN	4	32	F	120	EXISTING	-	-	CEILING LAY-IN
E	-	1	50	-	120	EXISTING	-	-	CEILING RECESS
F	EXTERIOR SCNCE	1	50	-	120	EXISTING	-	-	WALL
G	4' STRIP	-	32	F	120	EXISTING	-	-	CEILING SURFACE
H	2x4 BAY	1	61	LED	120	NEW	LUMAX SV LED	66L2435K9- FARSDM1	CEILING SURFACE
I	CHANDELIER	-	50	LED	120	NEW	-	-	SUSPEND FROM CEILING
J	EXIT	-	-	-	-	EXISTING	-	-	\$500 ALLOWANCE
K	EMERGENCY	-	-	-	-	EXISTING	-	-	7' 6" PROVIDE BATTERY BACKUP

LIGHTING FIXTURE NOTES:
1. CONTRACTOR SHALL PROVIDE ALL LAMPS.



LIGHTING FIXTURE SCHEDULE - SHADED AREA ONLY									
SYMBOL	DESCRIPTION	LAMP					MANUF.	MODEL	REMARKS
		NO.	WATT	TYPE	VOLT	LUMENS			
A	FLUSH STRIPS	-	45	LED	120	3000K	MAXIM	57764	SURFACE
B	PENDANT	2	12	LED	120	-	TRANS GLOBE	PND-801	SUSPEND FROM CEILING
C	WALL SCONCE	1	12	120	120	-	TRANS GLOBE	21361	WALL
D	CHANDELIER	9	9	LED	120	-	TRANS GLOBE	70529	SUSPEND FROM CEILING
E	15" ROUND	-	29	LED	120	2500	3000K	SATCO	62-1777
F	-	-	-	-	-	-	-	-	-
G	PENDANT	1	9	LED	120	-	TRANS GLOBE	-	SUSPEND FROM CEILING
H	PUCK	-	16	LED	120	1000	3000K	TRANS GLOBE	LED-30097-WH
I	UNDER CABINET	-	12.6	LED	120	-	PROGRESS	-	UNDER CABINET
J	CHANDELIER	-	-	LED	120	-	-	-	SUSPEND FROM CEILING
K	24" STRIP	-	15	LED	120	1738	3000K	LITHONIA	ZL1N L24 1500LM WVOLT 30K 80CRI
L	48" STRIP	-	25	LED	120	3172	3000K	LITHONIA	ZL1N L24 3000LM WVOLT 30K 80CRI

LIGHTING FIXTURE NOTES:
1. CONTRACTOR SHALL PROVIDE ALL LAMPS
2. FIXTURES SHALL BE DIMMABLE.
3. THE CLEARANCES OF ALL PENDANT FIXTURE SHALL BE 6" - 9".

A Partial Lighting Renovation Plan - Existing Center Core
E3 SCALE: 1/8" = 1' - 0"

ELECTRICAL SYSTEM AND EQUIPMENT
METHOD OF COMPLIANCE PT ROOM

PREScriptive ☒ PERFORMANCE ☐ ENERGY COST BUDGET ☐

PROVIDE A STANDARD RISER DIAGRAM WHICH INDICATES DESIGNATED POINTS FOR CHECK METERING. - SEE PLANS
PROVIDE A STANDARD PANEL SCHEDULE DESCRIPTION WHICH IDENTIFIES DIFFERENT ENDOUSE LOADS. - SEE PLANS

LIGHTING SCHEDULE
LAMP TYPE REQUIRED IN FIXTURE }
NUMBER OF LAMPS IN FIXTURE } SEE PLANS
BALLAST TYPE USED IN THE FIXTURE }
NUMBER OF BALLASTS IN FIXTURE }
TOTAL WATTAGE PER FIXTURE }
TOTAL INTERIOR WATTAGE SPECIFIED VS ALLOWED } SPECIFIED=0.44 WATTS/FT², ALLOWED=0.89 WATTS/FT² *
TOTAL EXTERIOR WATTAGE SPECIFIED VS ALLOWED } EXISTING

EQUIPMENT SCHEDULES WITH MOTORS (NOT USED FOR MECHANICAL SYSTEMS)
MOTOR HORSEPOWER
NUMBER OF PHASES
MINIMUM EFFICIENCY > N/A
MOTOR TYPE
OF POLES

DESIGNER STATEMENT
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING COMPLIES WITH THE
THERMAL ENVELOPE REQUIREMENTS OF THE LATEST NORTH CAROLINA STATE ENERGY CODE.

SIGNED: David Sims Jr.
NAME: DAVID SIMS JR. PE
TITLE: ENGINEER

*COMPLIES WITH 506.1 AND 506.2.2 OF THE NC ENERGY CODE 2012.

KEY NOTES.

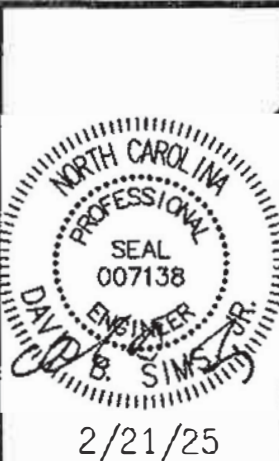
1. SPLIT SERVICE AND PROVIDE NEW SWITCHES.
2. PROVIDE EMERGENCY LIGHT AND TIE TO ROOM CIRCUIT.

GENERAL NOTES:
1. IF A NEW HOME RUN IS NOT SHOWN, LIGHTS SHOULD
STAY ON THE EXISTING NORMAL POWER CIRCUIT.

- NEW FIXTURES
- PENDANT
 - SMALL CHANDELIER, 15" MAX, 8' CEILING
 - LARGE CHANDELIER, 27" MAX, 9' CEILING
 - ROUND SURFACE MOUNTED FIXTURE, 15W
 - WALL SCONCE, TWO LAMPS
 - UNDER CABINET LIGHTS
 - FLAT 1x4 SURFACE LED
 - NEW LIGHTING AREA
 - 8" - 0" 8' - 0" CEILING HEIGHT

DSA
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BUILDING
RENOVATIONS



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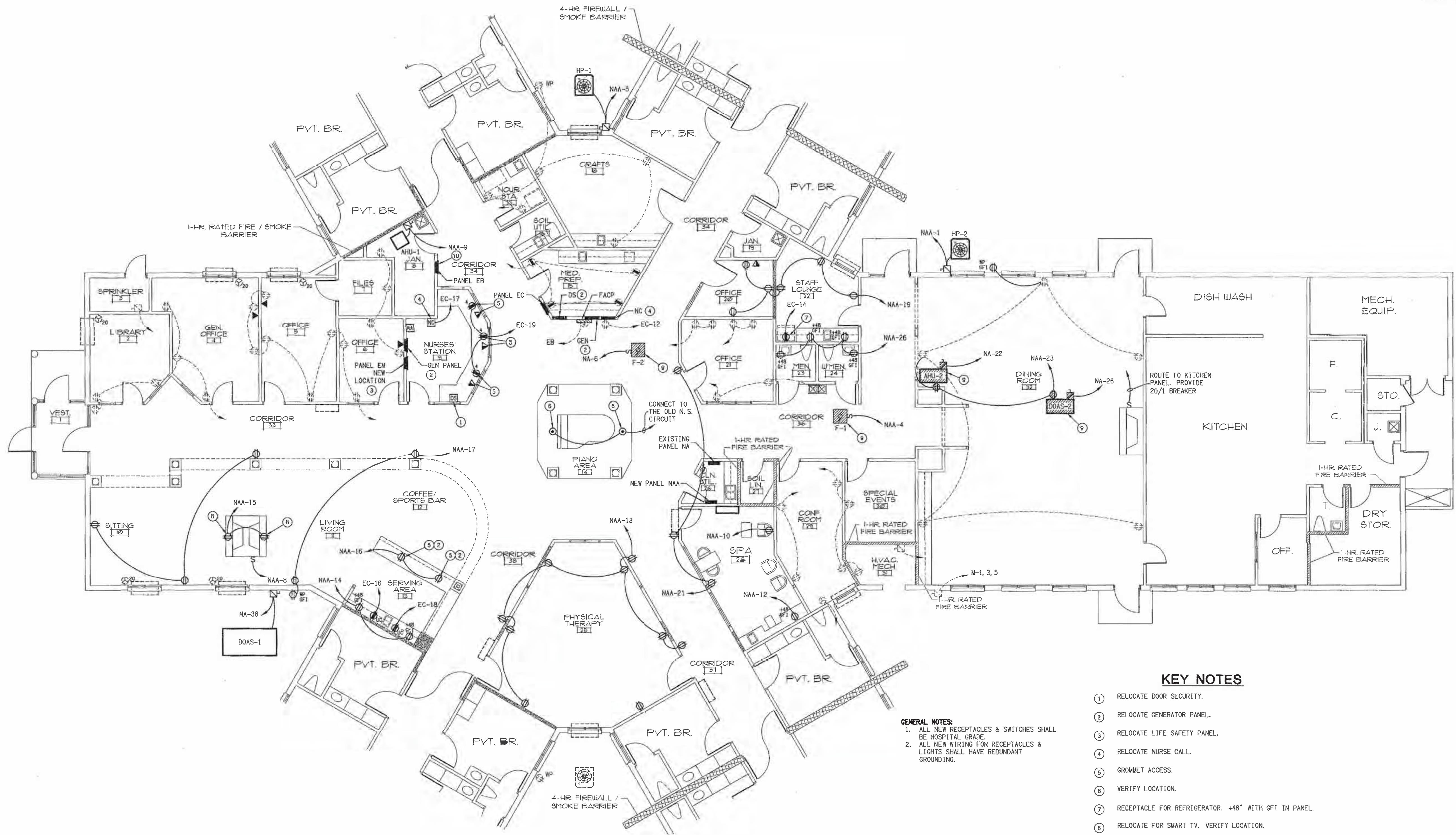
A	Partial Power Plan - Existing Center Core
E4	SCALE: 1/8" = 1'-0"



- ① DEMO ELECTRICAL FOR THE AHU & OUTDOOR UNIT.
- ② PANEL TO REMAIN.
- ③ CRITICAL POWER.
- ④ PANEL EC STAYS & GETS REPLACED. RELOCATE IF IT INTERFERES WITH THE NEW DOOR.
- ⑤ LIFE SAFETY PANEL WILL BE REPLACED AND RELOCATED.
- ⑥ PANEL EB TO BE RELOCATED.
- ⑦ DOOR SECURITY, FACP & GEN PANEL ARE TO BE RELOCATED TO THE NEW NURSE'S STATION.
- ⑧ DEMO FAN.

A	Partial Power Demo Plan - Existing Center Core
E5	SCALE: 1/8" = 1' - 0"

symbol	date	description	by
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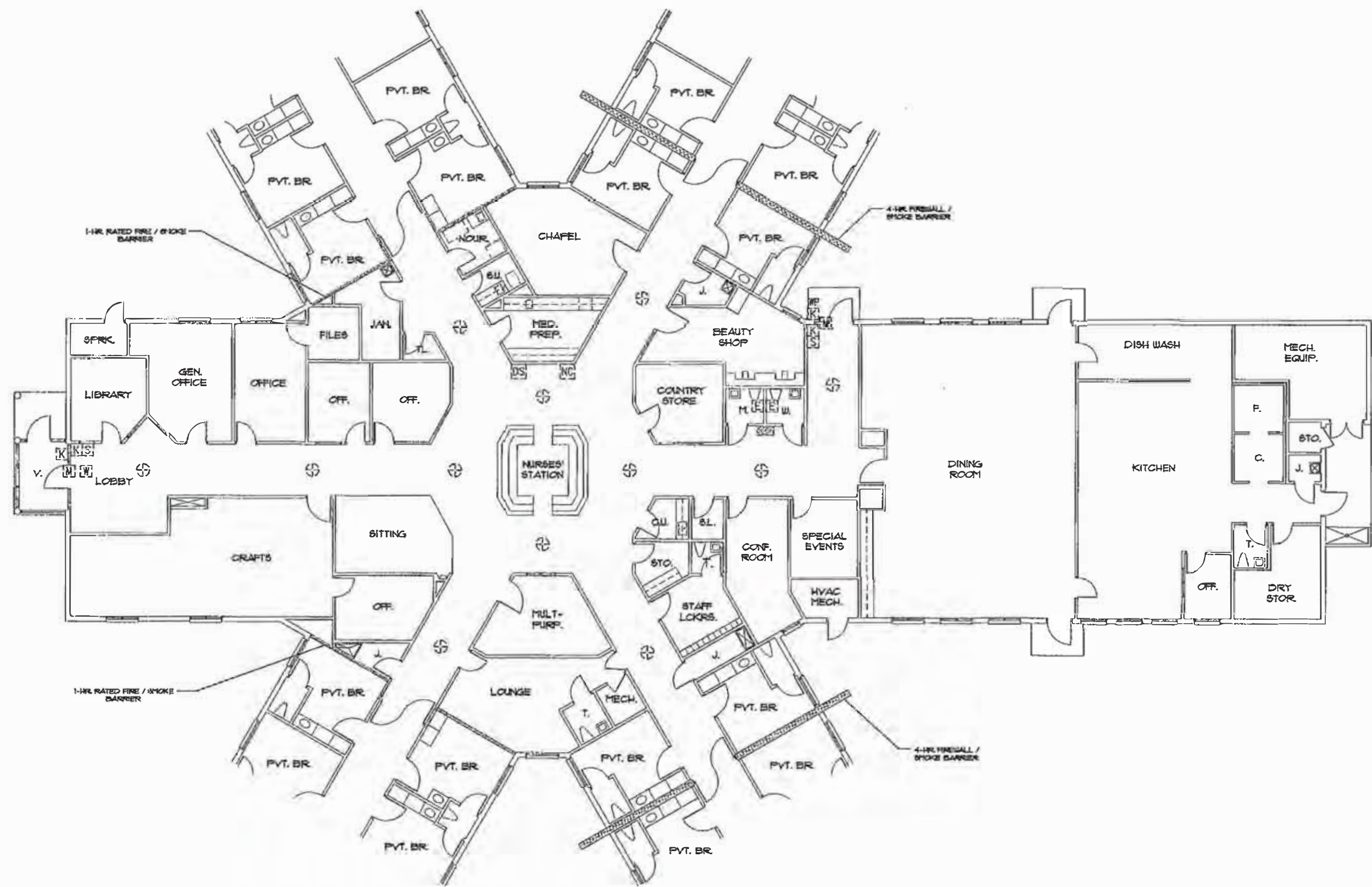
A Partial Power Renovation Plan - Center Core
E6 SCALE: 1/8" = 1'-0"

KEY NOTES

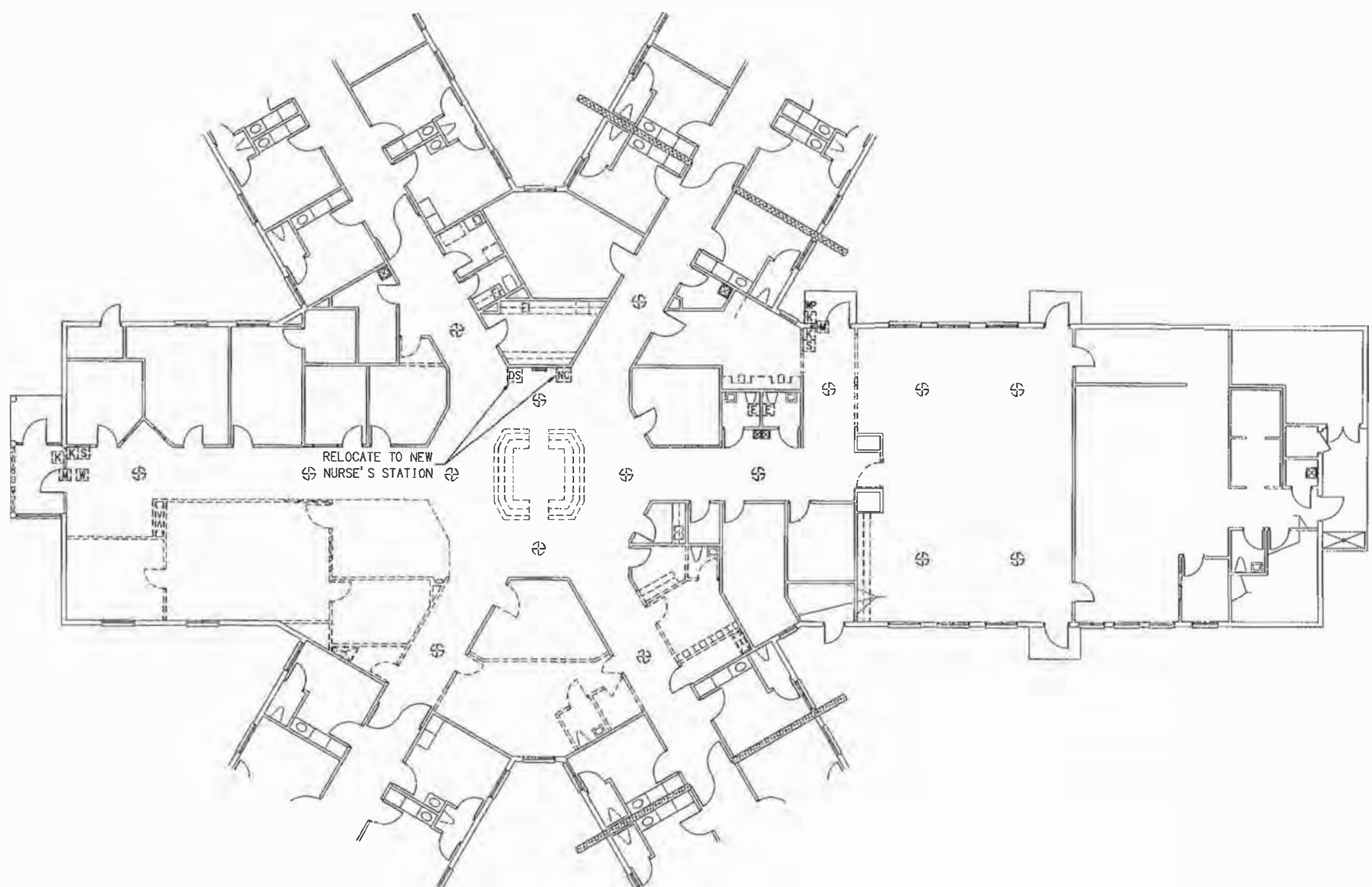
1. RELOCATE DOOR SECURITY.
2. RELOCATE GENERATOR PANEL.
3. RELOCATE LIFE SAFETY PANEL.
4. RELOCATE NURSE CALL.
5. GROMMET ACCESS.
6. VERIFY LOCATION.
7. RECEPTACLE FOR REFRIGERATOR. +48" WITH GFI IN PANEL.
8. RELOCATE FOR SMART TV. VERIFY LOCATION.
9. LOCATED IN ATTIC.
10. NEW LOCATION FOR PANEL EB.

GENERAL NOTES:
1. ALL NEW RECEPTABLES & SWITCHES SHALL BE HOSPITAL GRADE.
2. ALL NEW WIRING FOR RECEPTABLES & LIGHTS SHALL HAVE REDUNDANT GROUNDING.

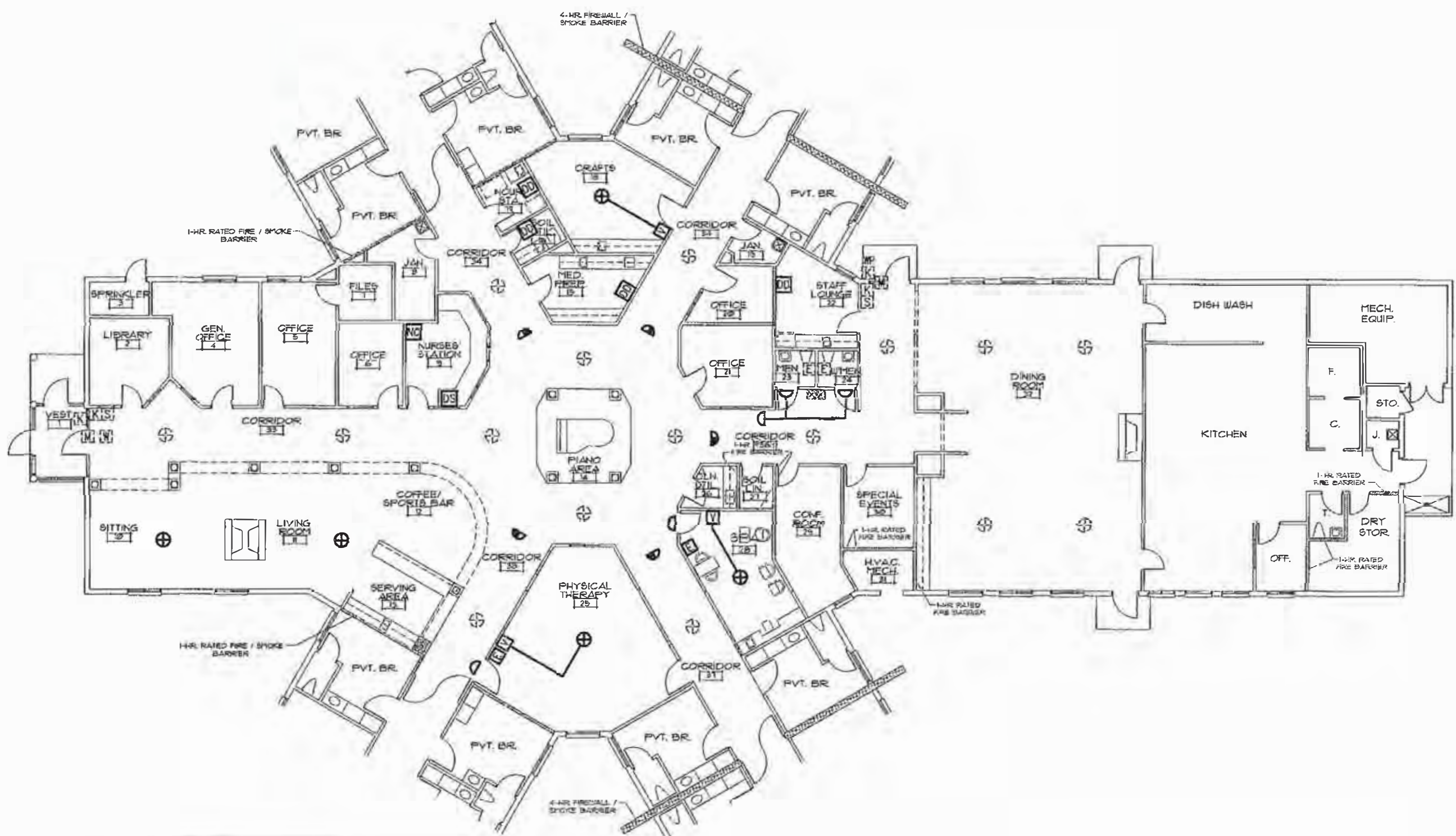
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A
E8 EXISTING NURSE CALL, P.A. SYSTEM & DOOR SECURITY PLAN
SCALE: 1/16" = 1'-0"



B
E8 DEMOLITION NURSE CALL, P.A. SYSTEM & DOOR SECURITY PLAN
SCALE: 1/16" = 1'-0"



C
E8 RENOVATION NURSE CALL, P.A. SYSTEM & DOOR SECURITY PLAN
SCALE: 1/16" = 1'-0"

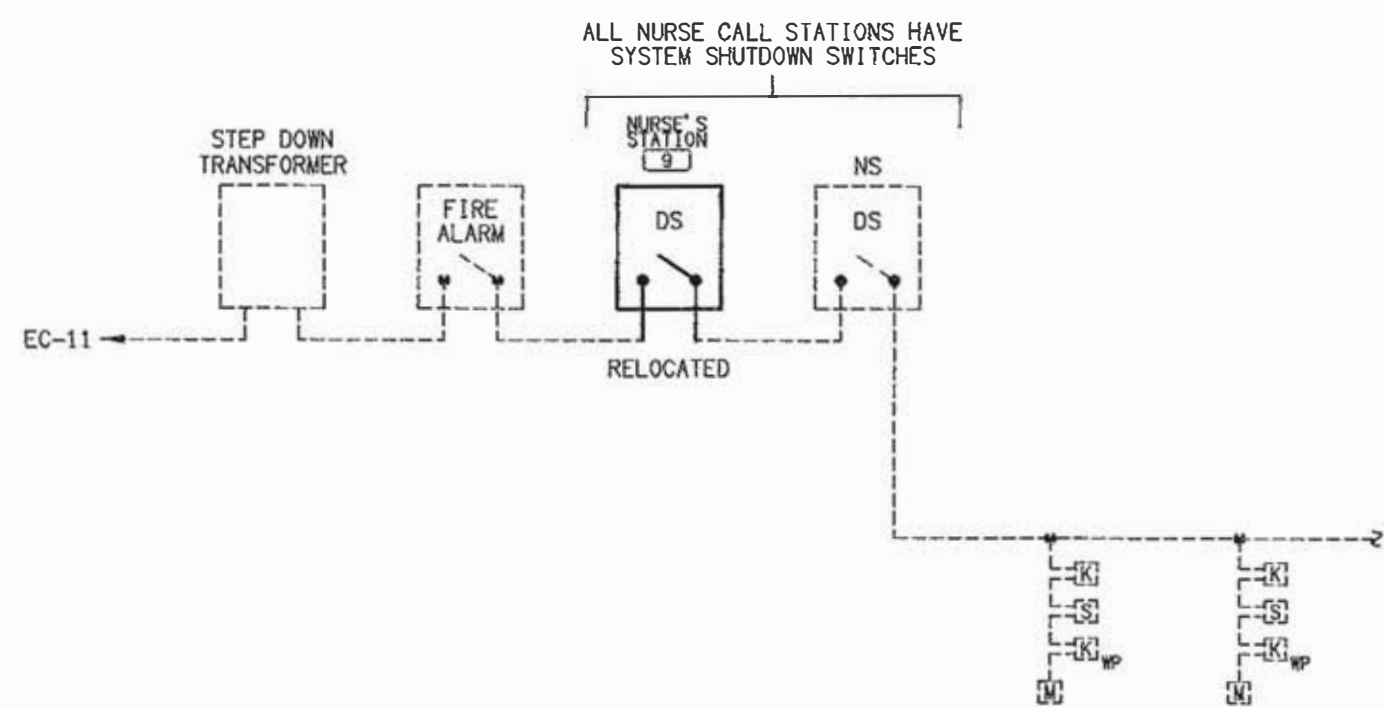
NURSE CALL LEGEND	
SYMBOL	DESCRIPTION
	EXISTING NURSE CALL SYSTEM
	EXISTING NURSE CALL PULL STATION
	EXISTING WANDER GUARD
	NEW NURSE CALL PULL STATION
	NEW NURSE CALL DOME LIGHT
	NEW NURSE CALL DUTY STATION
	NEW DIRECTIONAL DOME
	RELOCATED NURSE CALL SYSTEM & PANEL

NURSE CALL NOTES:
1. RELOCATE NURSE CALL PANEL TO NEW NURSE'S STATION.
2. ADD NURSE CALL DEVICES AS SHOWN ON THE PLANS.

DOOR SECURITY LEGEND	
SYMBOL	DESCRIPTION
	EXISTING KEYPAD INTERFACE
	EXISTING OVERRIDE SWITCH
	EXISTING MAG-LOCK
	EXISTING SYSTEM SHUTDOWN
	RELOCATED SYSTEM SHUTDOWN
	WEATHER PROOF

P.A. SYSTEM LEGEND	
SYMBOL	DESCRIPTION
	EXISTING SPEAKER
	NEW SPEAKER
	NEW VOLUME CONTROL

P.A. SYSTEM NOTES:
1. ALL P.A. SPEAKERS SHALL BE PRESERVED. REPAIR OR REPLACE ANY DEFECTIVE SPEAKERS.
2. PROVIDE NEW SPEAKERS AS SHOWN.
3. REPLACE DEFECTIVE SPEAKERS.



D
E8 SCHEMATIC WIRING DIAGRAM
MAGNETIC DOOR LOCK SYSTEM
SCALE: NTS

DS

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2/21/25

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A EXISTING FIRE ALARM PLAN
E9 SCALE: 1/16" = 1'-0"

B DEMOLITION FIRE ALARM PLAN
E9 SCALE: 1/16" = 1'-0"

FIRE ALARM LEGEND	
SYMBOL	DESCRIPTION
S	EXISTING SMOKE DETECTOR
XX	EXISTING STROBE/CHIME
P	EXISTING FACP
□	EXISTING PULL STATION
■	EXISTING MAGNETIC DOOR HOLDER
S	NEW SMOKE DETECTOR
XX	NEW STROBE ONLY XX CANDELA
XX	NEW STROBE XX CANDELA
□	NEW SMOKE DETECTOR BEAM
□	NEW BEAM DETECTOR
FACP	FIRE ALARM CONTROL PANEL
FAHU	NEW FRESH AIR MAKE UP UNIT
□	EXISTING DUCT DETECTOR
□	REMOTE ANNUNCIATOR

FIRE ALARM NOTES:

1. PROVIDE NEW DEVICES AS SHOWN ON THE PLANS.
2. CONNECT TO THE EXISTING FACP. PROVIDE ALL NEEDED EQUIPMENT TO MAKE THE CONNECTIONS INCLUDING REPLACING THE FACP AND ADDING A POWER BOOSTING STATION. CONNECT TO PANEL EB FOR 120V POWER.
3. WIRE:
 - A. STRANDED COPPER.
 - B. SIGNAL CIRCUIT WIRE SIZE = #16 GA.
 - C. ALARM CIRCUIT WIRE SIZE = #14 GA.
 - D. ROUTE WIRE IN 3/4" CONDUIT WITH JUNCTION BOXES PAINTED RED.
 - E. UL APPROVED FIRE RATED CABLE WILL BE ALLOWED IN UNFINISHED AREAS AND WALLS.
4. PROVIDE A DUAL LINE DIALER IF NOT PRESENT.
5. PROVIDE A MAXIMUM OF 8 ALARMS PER CIRCUIT.
6. ON GENERAL ALARM, SHUT DOWN:
 - A. DOAS UNITS
 - B. OPEN DOORS TO SECURITY SYSTEM.
 - C. CLOSE DOORS ON MAGNETIC DOOR HOLDERS.
 - D. ACTIVATE ALL ALARM DEVICES.
7. POST A MAP OF ALL SMOKE COMPARTMENTS.
8. COORDINATE WITH THE MECHANICAL CONTRACTOR TO KEEP ALL SMOKE DETECTORS AT A DISTANCE OF 3'-0" MINIMUM FROM SUPPLY AND RETURN GRILLES.
9. SYSTEM IS ADDRESSABLE.
10. ADD OR REPLACE ITEMS THAT ARE MISSING OR DAMAGED.

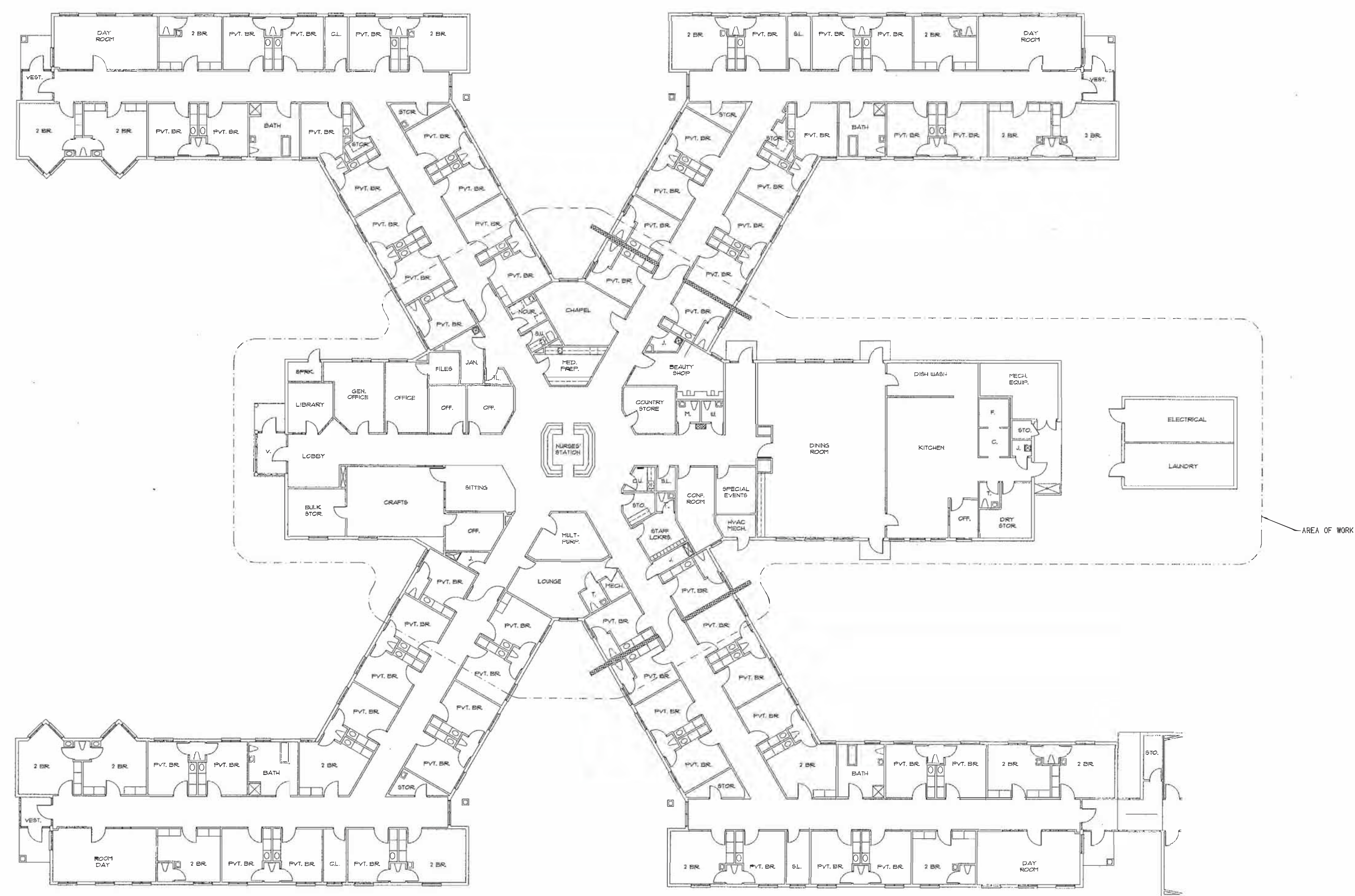
E FIRE ALARM RISER
E9 SCALE: NTS

C RENOVATION FIRE ALARM PLAN
E9 SCALE: 1/16" = 1'-0"

D TYPICAL MOUNTING HEIGHT DETAIL
E9 SCALE: NTS

RESIDENT BEDROOMS WING "300"
6,180 S.F. SMOKE COMPARTMENT

RESIDENT BEDROOMS WING "300"
5,591 S.F. SMOKE COMPARTMENT



RESIDENT BEDROOMS WING "500"
6,180 S.F. SMOKE COMPARTMENT

RESIDENT BEDROOMS WING "400"
8,604 S.F. SMOKE COMPARTMENT (TO NEXT 4-HR FIREWALL)

A Overall Building Plan
E10 SCALE: 1/16" = 1' - 0"

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