

Reviewed for Code Compliance
City of Monroe Building Standards
This project owner is responsible for compliance
with all applicable Local, State and Federal laws.
This professional does not warrant or assume any
liability for the design or construction of any
part of the project.
Plan No. 24000001

Ay Caramba

A New Family Restaurant



650 West Roosevelt Blvd
Monroe, NC 28110

APPENDIX B 2018 BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

Name of Project: **AT CARAMBA**
 Address: **650 WEST ROOSEVELT BLVD MONROE, NC** Zip Code: **28102**
 Proposed Use: **RESTAURANT**
 Owner or Authorized Agent: **DEREK HODGE AIA** Phone #: **704-283-2928** E-Mail: **d.hodge@architects.com**
 Owned By: City/County Private State
 Code Enforcement Jurisdiction: City Monroe County State

CONTACT: **Derek L. Hodge AIA 704-283-2928 d.hodge@architects.com**

Designer	Firm	Name	License #	Telephone	E-Mail
Architectural	DHMA Architecture PA	Derek L. Hodge AIA	NC 4006	704-283-2928	d.hodge@architects.com
Civil	MC2 ENGINEERING	JEFF MCGUIRE	NC 14803	704-510-4717	jeff@mc2eng.com
Electrical	CROWN ENGINEERING	ERIK BLANCHARD, JR.	NC 03576	704-281-0771	erik@crowncor.com
Fire Alarm	n/a				
Plumbing	HOLF TRAIL ENGINEERING	M. MICHAEL SCHON, PE	NC 1182	704-948-1020	mike@holftrail.com
Mechanical	HOLF TRAIL ENGINEERING	M. MICHAEL SCHON, PE	NC 1182	704-948-1020	mike@holftrail.com
Sprinkler - Standpipe	n/a				
Structural	ARP ENGINEERING	L. DEAN ARP, JR. PE	NC 10421	704-226-0078	dean@arpeng.com
Retaining Walls 1/2"	n/a				
Other - PEM					
Other					

2018 NC BUILDING CODE: New Building Shell / Core In-Process Interior Completions
 Addition Phased Construction - Shell Core

2018 NC EXISTING BUILDING CODE: Prescriptive Alteration Level I Historic Property
 Repair Alteration Level II Change of Use
 Chapter 14 Alteration Level III

CONSTRUCTED (date) _____ CURRENT USE(S) (Ch. 3) _____
 RENOVATED (date) _____ PROPOSED USE(S) (Ch. 3) _____
 RISK CATEGORY (Table 1604.5) Current: _____ Proposed: _____

BASIC BUILDING DATA
 Construction Type: I-A II-A III-A IV - HT V-A
 II-B III-B IV - B

Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
 Standpipes: No Yes Glass I II III Wet Dry NFPA 14
 Fire District: No Yes Flood Hazard Area No Yes
 Special Inspections Required: No Yes
 Building Height: 28 Feet One Number of Stories.

GROSS BUILDING AREA TABLE				
FLOOR	EXISTING SF	NEW SF	ALT / RE SF	SUB-TOTAL
BUILDING - CONDITIONED		4,016		4,016
PATIO - UNCONDITIONED	630			630
FREEZER / COOLER	312			312
TOTALS		4,960		4,960

ALLOWABLE AREA

Occupancy (s): A-1 A-2 A-3 A-4 A-5
 Business 304 E
 Educational 305 F-1 Moderate F-2 Low
 Factory 306 H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HM
 Institutional 308 I-1 I-2 I-3 I-4
 I-3 Use Condition: I 2 3 4 5
 I-3 Use Condition: 1 2 3 4 5
 Mercantile 309 M R-1 R-2 R-3 R-4
 Residential 310 S-1 Moderate S-2 Low High-Piled
 Storage 311 Parking Garage: Open Enclosed Repair Garage
 Utility & Miscellaneous 312 U

Accessory Occupancy Classification (s): N / A
 Incidental Uses (Table 509): _____
 This separation is not exempt as a Nonseparated Use (see exceptions).
 Special Uses (Chapter 4 - List Code Sections): _____
 Special Provisions (Chapter 5 - List Code Sections): _____
 Mixed Occupancy/Use: No Yes Separation 0 Hr. Exception: 509.3.3
 Incidental Use Separation (509.2.5)
 Non-Separated Use (509.3)

The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Use (509.4) - See below for area calculations.
 For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1. (509.4.2)

Actual Area of Occupancy A	Actual Area of Occupancy B	Allowable Area of Occupancy A	Allowable Area of Occupancy B

STORY NO.	DESCRIPTION / USE	(A) BUILDING AREA (Actual)	(B) TABLE 509 SF AREA	(C) ALLOWABLE FLOOR AREA	(D) ALLOWABLE RATIO OF ACTUAL TO ALLOWABLE
ONE	RESTAURANT	4,960	4,500	4,500	

- Frontage area increases from Section 506.2 are computed thus:
 - Perimeter which fronts a public way or open space having 20 feet minimum width = (P)
 - Total Building Perimeter = (FP)
 - Ratio (P/FP) = (F/P)
 - N = Minimum width of public way = (W)
 - Percentage of frontage increase $I_f = [(F/P - 0.25) \times W] \times 100 =$ _____
- Unlimited area application under conditions of Section 507.
- MAX BUILDING AREA = TOTAL NUMBER OF STORIES IN THE BUILDING x D (Maximum 3 stories) (506.3)
- THE MAXIMUM AREA OF OPEN PARKING GARAGES MUST COMPLY 406.5.4. THE MAXIMUM AREA OF AIR TRAFFIC CONTROL TOWERS MUST COMPLY WITH 412.3.1.
- Frontage increase is based on the unspriekled area value in Table 506.2.

ALLOWABLE HEIGHT

	ALLOWABLE	SHOW ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	28	28	
Building Height in Stories (Table 504.4)	2	1	

1. Provide code reference if the "Show on Plans" quantity is not based on Table 504.3 or 504.4.

SCHEDULE OF SPECIAL INSPECTION SERVICES

No Special Inspections required for this project Special Inspections Required

The following schedule of special inspections for this project. The construction divisions which require special inspections for this project are as follows:

<input type="checkbox"/> IT-1 Verification of Soils	<input type="checkbox"/> IT-10 Inspection of Structural Steel Fabricators
<input type="checkbox"/> IT-2 Excavation and Fill	<input type="checkbox"/> IT-11 Structural Masonry
<input type="checkbox"/> IT-3 Piling and Drilling Plans	<input type="checkbox"/> IT-12 Welding
<input type="checkbox"/> IT-4 Modular Retaining Walls	<input type="checkbox"/> IT-13 High Strength Bolts & Steel Frmg Insp.
<input type="checkbox"/> IT-5 Reinforced Concrete	<input type="checkbox"/> IT-14 Sprayed Fire-Resistance Materials
<input type="checkbox"/> IT-6 Post-Tension Slab	<input type="checkbox"/> IT-15 Exterior Insulation & Finish System
<input type="checkbox"/> IT-7 Precast Concrete Erection	<input type="checkbox"/> IT-16 Seismic Resistance
<input type="checkbox"/> IT-8 Prestressed Concrete	<input type="checkbox"/> IT-17 Smoke Control
<input type="checkbox"/> IT-9 Inspection of Precast Fabricators	<input type="checkbox"/> IT-18 Detention Basin
	<input type="checkbox"/> IT-19 Special Cases

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING **	DETAIL # (W/ REDUCTOR)	DESIGN # (RATED ASSEMBLY)	SHEET # (RATED PENETRATION)	SHEET # (RATED JOINTS)
Structural Frame Including Columns, Girders & Trusses	< 30'	0	0	3' SHIS		
Bearing Walls		0	0	500 SHIS		
Exterior		0	0			
North		0	0			
East		0	0			
West		0	0			
South		0	0			
Interior		0	0			
Nonbearing Walls & Partitions		0	0			
Exterior Walls		0	0			
North		0	0			
East		0	0			
West		0	0			
South		0	0			
Interior Walls & Partitions		0	0			
Floor Construction Including Supporting Beams and Joists	N/A	N/A	N/A			
Floor / Ceiling Assembly	0	0	0			
Columns Supporting Floors	N/A	N/A	N/A			
Roof Construction Including Supporting Beams and Joists	0	0	0			
Roof / Ceiling Assembly	0	0	0			
Columns Supporting Roof	0	0	0			
Shaft Enclosures - Esc	N/A	N/A	N/A			
Shaft Enclosures - Other	N/A	N/A	N/A			
Corridor Separation	N/A	N/A	N/A			
Occupancy / Fire Barrier Separation	N/A	N/A	N/A			
Party Wall Separation	N/A	N/A	N/A			
Smoke Barrier Separation	N/A	N/A	N/A			
Smoke Partition	N/A	N/A	N/A			
Tenant / Dwelling Unit / Sleeping Unit Separation	N/A	N/A	N/A			
Incidental Use Separation	N/A	N/A	N/A			

** Indicates section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS

Fire Separation Distance (ft) / Non-Protective Lines	Degree of Opening (Degrees)	Allowable Area (sq. ft.)	Actual shown on Plans (sq. ft.)

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No Yes
 Exit Signs: No Yes
 Fire Alarm: No Yes
 Smoke Detection Systems: No Yes
 Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: A-002 (L5-1)

Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (105.6)
 Occupancy use for each area as it relates to occupant load calculations (Table 1004.1.2)
 Occupant loads for each area
 Exit sign locations (1013)
 Exit access travel distances (1017)
 Common path of travel distances (1006.2.1 & 1006.3.2)(1)
 Dead end lengths (1020.4)
 Clear exit width for each exit door
 Maximum calculated occupant load capacity each door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where the rated floor / ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.4.1)
 Location of doors with delayed egress locks and amount of delay (1010.1.4.1)
 Location of doors with electro-magnetic egress locks (1010.1.4.1)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1020)
 The square footage of each fire area (202)
 The square footage of each smoke compartment to Occupancy Classification 1-2 (407.5)
 Note any code exception or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1021)

Total Units	Accessible Units Required	Accessible Units Provided	Type A Units Required	Type A Units Provided	Type B Units Required	Type B Units Provided	Total Accessible Units Provided

ACCESSIBLE PARKING (SECTION 1021)

LOT OR PARKING AREA	TOTAL # OF SPACES		# ACCESSIBLE SPACES PROVIDED				TOTAL NUMBER ACCESSIBLE PROVIDED
	REQUIRED	PROVIDED	REGULAR W/ 5' ACCESS AISLE	8'2" ACCESS AISLE	5' ACCESS AISLE	8' ACCESS AISLE	
TOTAL							

PLUMBING FIXTURE REQUIREMENTS (TABLE 2102.1)

USE GROUP OR DESIGNATION	WATER CLOSET			LAVATORIES			SHOWNERS / TUBS	DRINKING FOUNTAINS	
	Male	Female	Unisex	Male	Female	Unisex		REGULAR	ACCESSIBLE
A-2 RESTAURANT	1/75	1/75		1/200	1/200			1/500	1/500
TOTAL REQUIRED	1	2		1	1	1			
TOTAL PROVIDED	1	2		1	1	1			
TOTAL OCCUPANT LOAD: 240									

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPL, DHS, ICC, etc. describe below)
 CITY OF MONROE VARIANCE APPROVALS (PLD/NA-2022-02/05) 6-23-2022

ENERGY SUMMARY

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attribute required to meet the energy code shall be provided. Each designer shall submit the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference energy versus the annual energy cost for the proposed design.
 Existing building envelope complies with code: (If checked, the remainder of this section is not applicable.)
 Exempt Building: Provide code or statutory reference.
 Climate Zone: 3A 4A 5A
 Method of Compliance: Performance Prescriptive
 ASHRAE 90.1: Performance Prescriptive
 Other: Performance (specify source)
 THERMAL ENVELOPE (Prescriptive method only)
 Roof/Ceiling Assembly (each assembly)
 Description of assembly: RIGID POLY-ISO BOARD ON MTL DECKING - TAPERED INSULATION FOR DRAINAGE
 U-Value of total assembly: _____
 R-Value of insulation: R-25
 Skylights in each assembly: _____
 U-Value of skylight: _____
 total % of skylights in each assembly: _____
 Exterior Walls (each assembly)
 Description of assembly: 2" RIGID EIFS ON 8" MTL STUDS WR-H BATT INSUL.
 U-Value of total assembly: _____
 R-Value of insulation: _____
 % of above grade walls: _____
 U-Value of assembly: _____
 Solar heat gain coefficient: _____
 projection factor: _____
 Door R-Values: _____
 Walls below grade (each assembly)
 Description of assembly: N/A
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Floors over unconditioned space (each assembly)
 Description of assembly: N/A
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Floors slab on grade
 Description of assembly: 4" S.O.G. ON 10 MIL POLY V.B.
 U-Value of total assembly: _____
 R-Value of insulation: _____
 Horizontal/vertical requirements: 24" HORIZONTAL
 slab heated: N/A

STRUCTURAL DESIGN (PROVIDE ON SHEET 1 OR 2 OF THE STRUCTURAL SHEETS)

DESIGN LOADS:
 Importance Factors: Wind (W) _____
 Snow (S) _____
 Seismic (E) _____ **SEE STRUCTURAL DRAWINGS**
 Live Loads (1607.1) Roof: _____ psf
 Mezzanine: _____ psf
 Floor: _____ psf
 Ground Snow Load: _____ psf
 Wind Load: Basic Wind Speed _____ mph (ASCE-7)
 Exposure Category: _____

SEISMIC DESIGN CATEGORY A B C D

Provide the following Seismic Design Parameters:
 Occupancy Category (1604.5) I II III IV
 Spectral Response Acceleration: S_s _____ R_s _____ S₁ _____ R₁ _____
 Site Classification (ASCE-7) A B C D E F
 Data Source: Field Test Prescriptive Historical Data
 Basic Structural System (check one)
 Bearing Wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate RIG or Special Steel
 Moment Frame Inverted Pendulum
 Analysis Procedure: Simplified Equivalent Lateral Force Modal
 Architectural, Mechanical, Components anchored? Yes No

LATERAL DESIGN CONTROL: Earthquake Wind

SOIL BEARING CAPACITIES:
 Field Test (provide copy of test report) _____ psf
 Prescriptive Bearing Capacity: _____ psf
 File size, type, and capacity: _____

MECHANICAL DESIGN (PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SYSTEMS, SERVICE SYSTEMS & EQUIPMENT
 Thermal Zone: 3A
 winter dry bulb: _____
 summer dry bulb: _____
 interior design conditions:
 winter dry bulb: _____
 summer dry bulb: _____
 relative humidity: _____
 Building heating load: _____
 Building cooling load: _____
 Mechanical Spacing Conditioning System:
 Unitary:
 description of unit: _____
 heating efficiency: _____
 cooling efficiency: _____
 size category of unit: _____
 Boiler:
 Size category. If oversized, state reason: _____
 Chiller:
 Size category. If oversized, state reason: _____
 List equipment efficiencies: _____

ELECTRICAL DESIGN (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM & EQUIPMENT
 Method of Compliance
 Energy Code: Prescriptive Performance
 ASHRAE 90.1: Prescriptive Performance
 Lighting schedule:
 Lamp type required in fixture: _____
 number of lamps in fixture: _____
 ballast type used in fixture: _____
 number of ballasts in fixture: _____
 total wattage per fixture: _____
 total interior wattage specified vs allowed: _____
 total exterior wattage specified vs allowed: _____
 Additional Required Prescriptive Compliance
 506.2.1 More Efficient Mechanical Equipment
 506.2.2 Reduced Lighting Power Density
 506.2.3 Energy Recovery Ventilation Systems
 506.2.4 Higher Efficiency Service Water Heating
 506.2.5 On-site Supply of Renewable Energy
 506.2.6 Automatic Daylighting Control Systems

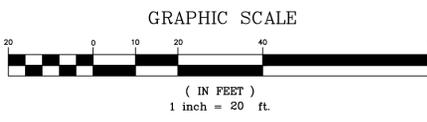
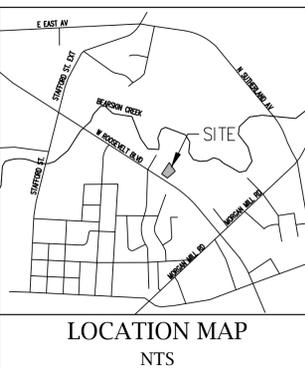
ELECTRICAL SYSTEM & EQUIPMENT

REV #	DATE	DESCRIPTION
0	8-30-22	FOR CONSTRUCTION

INDEX OF DRAWINGS

INDEX OF DRAWINGS	INDEX OF DRAWINGS
CS-1 PROJECT INFORMATION APPROX B INDEX OF DRAWINGS	S-100 GENERAL NOTES
CCS CIVIL COVER SHEET	S-101 SECTIONS & DETAILS
C-1.0 EXISTING CONDITIONS & DEMO PLAN	S-201 FOUNDATION & SLAB PLAN
C-2 SITE PLAN	S-202 ROOF FRAMING PLAN
C-2.1 UTILITY PLAN	S-301 SECTIONS & DETAILS
C-3.0 EROSION CONTROL PLAN	S-401 SECTIONS & DETAILS
C-3.1 NCGØ1 - STANDARD NOTES	S-402 SECTIONS & DETAILS
C-4.0 GRADING PLAN	S-403 SECTIONS & DETAILS
C-4.1 STORM SEWER DRAINAGE AREA PLAN	S-404 SECTIONS & DETAILS
C-4.2 PRE-DEVELOPMENT SCM DRAINAGE PLAN	S-405 SECTIONS & DETAILS
C-4.3 POST-DEVELOPMENT SCM DRAINAGE PLAN	F0.1 PLUMBING SPECIFICATIONS
C-5.0 LANDSCAPE PLAN	F0.2 PLUMBING SCHEDULES
C-6.0 INTERSECTION SIGHT DISTANCE	F0.3 PLUMBING DETAILS
C-6.1 TRAFFIC CONTROL PLAN	F1.1 PLUMBING FLOOR PLANS
C-9.0 SITE DETAILS	F1.2 PLUMBING FLOOR PLANS
C-9.1 SITE DETAILS	F2.1 PLUMBING ROOF PLAN
C-9.2 SITE DETAILS	M0.1 MECHANICAL SPECIFICATIONS
C-9.3 SITE DETAILS	M0.2 MECHANICAL SCHEDULES
C-9.4 SITE DETAILS	M0.3 MECHANICAL DETAILS
A-001 EXISTING SURVEY	M0.4 MECHANICAL CALCULATIONS
A-002 LIFE SAFETY PLAN	M1.1 MECHANICAL FLOOR PLAN
A-003 WALL TYPES & DETAILS	M1.2 MECHANICAL ROOF PLAN
A-101 FLOOR PLAN	M2.1 KITCHEN HOOD DRAWINGS
A-102 DIMENSIONED FLOOR PLAN	M2.2 KITCHEN HOOD DRAWINGS
A-103 SEATING FLOOR PLAN	M2.3 KITCHEN HOOD DRAWINGS
A-104 FLOOR FINISH PLAN & DETAILS	M2.4 KITCHEN HOOD DRAWINGS
A-105 REFLECTIVE CEILING PLAN	M2.5 KITCHEN HOOD DRAWINGS
A-106 ROOF PLAN	M2.6 KITCHEN HOOD DRAWINGS
A-201 ELEVATIONS	M2.7 KITCHEN HOOD DRAWINGS
A-202 ELEVATIONS	E1.0 ELECTRICAL SCHEDULES, NOTES & DETAILS
A-301 BUILDING SECTIONS	E2.0 FLOOR PLAN - POWER
A-401 ENLARGED KITCHEN PLAN	E3.0 FLOOR PLAN - LIGHTING
A-402 ENLARGED PLANS & DETAILS	E4.0 FLOOR PLAN MISC. CONNECTIONS
A-501 SECTIONS & DETAILS	E5.0 PANEL SCHEDULES, POWER RISER DIAGRAM
A-502 SECTIONS & DETAILS	E6.0 SITE PLAN - ELECTRICAL
A-503 SECTIONS & DETAILS	
A-504 SECTIONS & DETAILS	
A-505 SECTIONS & DETAILS	
A-506 SECTIONS & DETAILS	
A-507 SECTIONS & DETAILS	
A-508 SECTIONS & DETAILS	
A-509 SECTIONS & DETAILS	
A-510 SECTIONS & DETAILS	
A-601 DOOR & WINDOW SCHEDULES & DETAILS	
A-602 ROOM FINISH SCHEDULE & DETAILS	
A-701 CASEWORK SECTIONS & DETAILS	

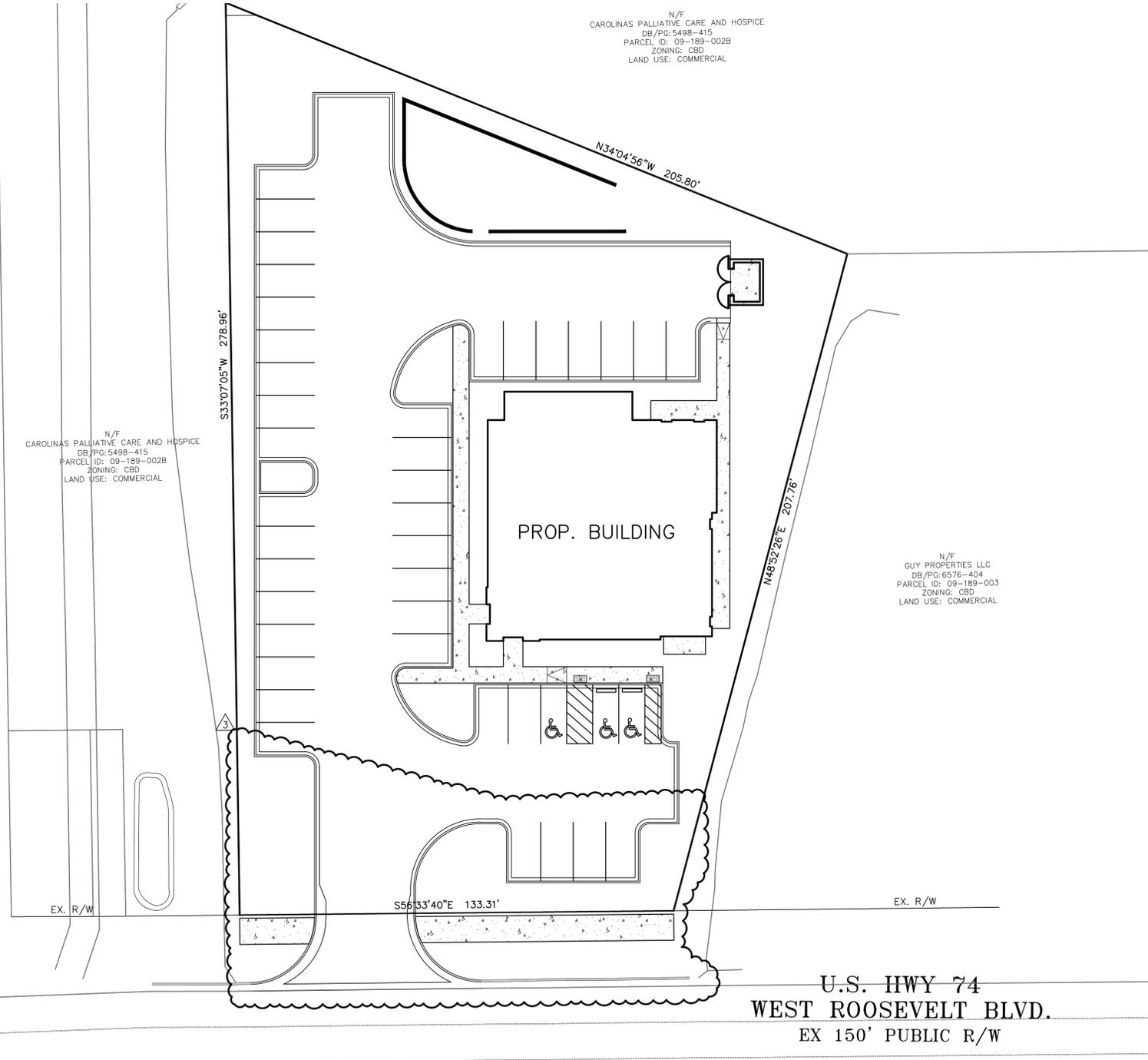
Reviewed for Code Compliance
 City of Monroe Building Standards
 This project owner is responsible for compliance
 with all applicable local, state and federal laws.
 This authorization does not constitute a
 City, State or Federal seal.
 Plans Examine Date: 04/02/23



AY CARAMBA MONROE, UNION COUNTY 650 WEST ROOSEVELT BOULEVARD MONROE, NC 28110

EXISTING CONDITIONS AND DEMOLITION PLAN	C1.0
SITE PLAN	C2.0
UTILITY PLAN	C3.0
EROSION CONTROL PLAN PH1	C3.1
EROSION CONTROL PLAN PH2	C3.2
NCG01 STANDARD NOTES	C4.0
GRADING PLAN	C4.1
STORMWATER SCM DETAIL PLAN	C4.2
PRE-DEVELOPMENT DRAINAGE AREA PLAN	C4.3
POST-DEVELOPMENT DRAINAGE AREA PLAN	C5.0
LANDSCAPE PLAN	C6.0
INTERSECTION SIGHT DISTANCE	C6.1
TRAFFIC CONTROL PLAN	C9.0-C9.4
SITE DETAILS	

SHEET INDEX



- GENERAL NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXERCISING REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE ILLUSTRATED DESIGN.
 - PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC, AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, CONTRACTOR SHALL REPAIR IMMEDIATELY AS DIRECTED BY THE ENGINEER.
 - CONTRACTOR SHALL HOLD HARMLESS THE OWNER AND THE ENGINEER FOR DAMAGES, INJURIES OR OTHER ACCIDENTS WHICH OCCUR DURING THESE CONSTRUCTION ACTIVITIES.
 - TREES AND EXISTING LANDSCAPING NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED DURING CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF ALL ILLUSTRATED CONSTRUCTION ACTIVITIES AT THE JOB SITE.
 - SAFETY PROVISIONS: THE CONTRACTOR SHALL COMPLY WITH THE "RULES AND REGULATIONS GOVERNING THE CONSTRUCTION INDUSTRY" AS PROMULGATED FOR THE HEALTH, SAFETY AND GENERAL WELFARE OF EMPLOYEES BY THE COMMISSION OF LABOR UNDER GENERAL STATUTES OF NORTH CAROLINA, AND 29CFR PART 1926 AND PART 1910. PARTICULAR REFERENCE IS MADE BUT NOT LIMITED TO THE FOLLOWING RULES AND REGULATIONS: BUILDING CONSTRUCTION WORK, DEMOLITION, EXCAVATION, PERMIT REQUIRED CONFINED SPACES AND TRENCHING. IN ADDITION TO THE FOREGOING SAFETY PROVISIONS, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR AND COMPLY WITH THE DEPARTMENT OF LABOR SAFETY REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (L 91-54). WHERE THE REQUIREMENTS OF THESE ACTS ARE IN EXCESS OF THOSE REQUIREMENTS SPECIFIED, THE REQUIREMENTS OF THESE ACTS SHALL GOVERN. SHOULD THE PLANS OR SPECIFICATIONS REQUIRE MATERIALS OR METHODS IN CONFLICT WITH THE SAFETY AND HEALTH REGULATIONS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REQUEST OF THE ENGINEER ANY CHANGES THAT MAY BE NECESSARY.
 - CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT HIS EXPENSE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION ADJUSTMENTS OF ALL EXISTING VAULTS (REGARDLESS OF FUNCTION), METER BOXES, FIRE HYDRANTS, CLEAN OUTS, MANHOLES ETC. TO MATCH FINISHED GRADES AND SITE PLAN. ALL SUCH WORK SHALL BE COORDINATED WITH THE ENGINEER.
 - UTILIZE SIGNS, BARRICADES, FLAGMEN, OR GUARDS AS REQUIRED TO ENSURE THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC DURING ALL CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ADJACENT PROPERTY OWNERS AS REQUIRED FOR WORK OUTSIDE OF PROPERTY LINES. UNDER ABSOLUTELY NO CIRCUMSTANCES SHALL ANY UNMANNED EXCAVATION BE LEFT OPEN OR UNPROTECTED DURING NON-WORKING HOURS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL WORK AS ILLUSTRATED ON PLANS. IF EXISTING CONDITIONS DIFFER FROM THOSE ILLUSTRATED ON PLANS, NOTIFY ENGINEER PRIOR TO CONSTRUCTION.
 - VERIFY ALL DIMENSIONS AND GRADES AT THE JOB SITE. IF DIFFERENCES ARE FOUND, NOTIFY ENGINEER SO THAT MODIFICATIONS TO THESE DRAWINGS CAN BE MADE.
 - GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY OF MONROE EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
 - ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 - PROJECTS DISTURBING LESS THAN 1 ACRE DO NOT FALL UNDER THE NCG01 PERMIT. ANY QUESTIONS IN REFERENCE TO THE CITY OF MONROE GRADING PERMIT CAN BE DIRECTED TO THE CITY OF MONROE ENGINEERING DEPARTMENT. THE CITY OF MONROE EROSION CONTROL SECTION IS AN AUTHORIZED STATE DELEGATED PROGRAM.
 - THE CITY OF MONROE ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
 - ALL SUBSURFACE DRAINAGE PIPE SHALL BE AS SPECIFIED ON THE PLANS SHEETS C4.0.
 - EXISTING CONTOURS SHOWN ARE AT 1-FOOT INTERVALS.
 - ALL CONSTRUCTION ACTIVITY AND MATERIALS SHALL CONFORM TO THE CITY OF MONROE STANDARDS AND SPECIFICATIONS DETAIL MANUAL AND NCDOT STANDARDS AND SPECIFICATIONS.
 - IN AREAS WHERE 2 FEET OF COVER CAN NOT BE MAINTAINED OVER STORM DRAIN PIPES, THE CONTRACTOR IS TO SUBSTITUTE CLASS IV RCP.
 - THE UTILITIES AND THE LOCATIONS THEREOF, SHOWN ON THE DRAWING REPRESENT THE DESIGNERS UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, SEWER, TELEPHONE, GAS, ETC.) WITHIN THE CONSTRUCTION AREA WITH THE UTILITY OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CALL NORTH CAROLINA 1-CALL (FORMERLY ULCOCC) AT (800) 632-4849 AND OTHER UTILITY PROVIDERS NOT A MEMBER OF THE 1-CALL SERVICE.
 - THERE SHALL BE NO ON-SITE BURIAL PITS. ALL SOLID WASTE GENERATED FROM THE PROJECT INCLUDING CONSTRUCTION AND LAND CLEARING DEBRIS, ETC. WILL BE PROPERLY DISPOSED OF OFFSITE IN AN APPROVED DISPOSAL FACILITY.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FEATURES AND TOPOGRAPHY AS NEEDED DURING CONSTRUCTION STAKING.
 - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM AFFECTED PROPERTY OWNERS PRIOR TO GRADING ACTIVITIES. SHOULD FIELD CONDITIONS WARRANT DISTURBING SITE AREAS IN EXCESS OF THE AMOUNT OF DISTURBED ACREAGE APPROVED, THE CONTRACTOR SHALL FIRST OBTAIN APPROVAL FROM THE CITY OF MONROE EROSION CONTROL INSPECTOR WHICH MAY REQUIRE REVISIONS TO THE EROSION CONTROL PERMIT.
 - THE DEVELOPMENT WILL ADHERE TO ALL DIMENSIONAL REQUIREMENTS SET FORTH FOR THEIR RESPECTIVE DISTRICTS IN THE TOWN OF WAXHAW LAND DEVELOPMENT CODE.
 - CURB-MIN. 20' RADIUS, R/W MIN. 30' RADIUS AT COLLECTOR ROADS & 20' MIN. R/W RADIUS OTHERWISE.



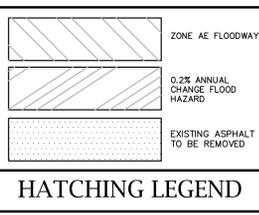
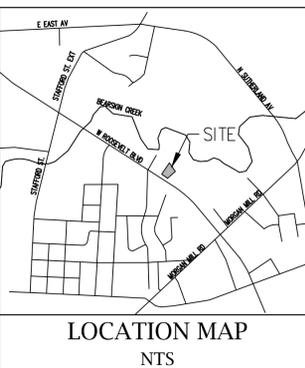
CAD FILE:	22-008 BASE.DWG
PROJECT NO.:	22-008
DESIGNED BY:	JDM
SUBMITTAL DATE:	AUGUST 30, 2022

REVISIONS	
1	9/30/22 CITY COMMENTS
2	10/28/22 VARIOUS COMMENTS
3	2/6/23 VARIOUS COMMENTS
4	2/21/23 MONROE STORMWATER

**AY CARAMBA
 FAMILY RESTAURANT
 650 WEST ROOSEVELT BOULEVARD
 MONROE, NC 28110**

**Mc²
 ENGINEERING**

Mc² ENGINEERING, INC.
 2110 BEN CRAIG DR.
 SUITE 400
 CHARLOTTE, NC 28262
 PHONE 704.510.9797



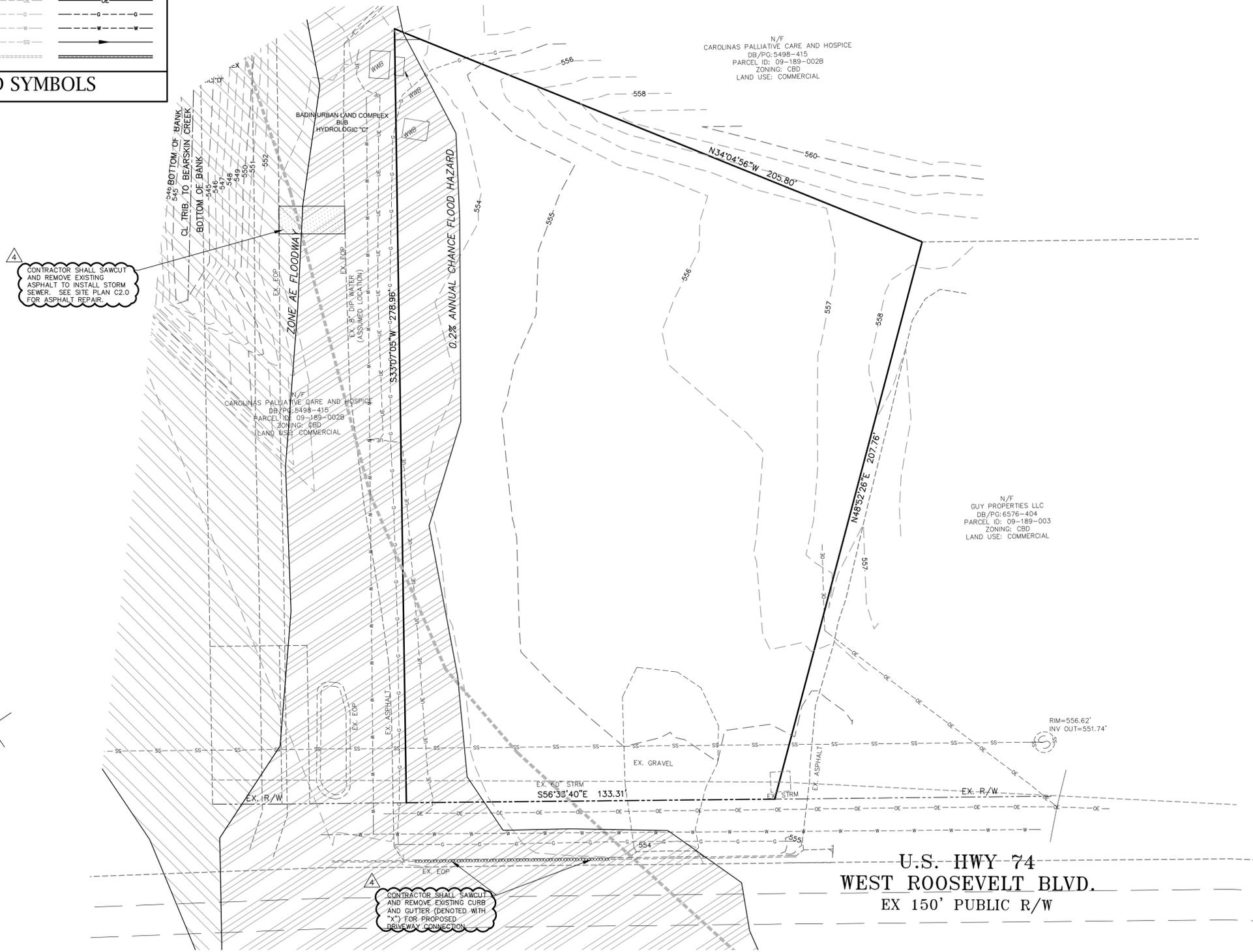
	EXISTING	PROPOSED
RIGHT OF WAY		
BUILDING STRUCTURE		
CURB AND GUTTER		
PARKING COUNT		
CONTOURS		
SPOT ELEVATIONS		$\times 700.00$
PERCENT SLOPE		2.0%
BENCHMARK		
STREET SIGNS		
SANITARY SEWER MANHOLE		
STORM INLET/CATCH BASIN		
TREE PROTECTION LINE		
TREE LINE		
FENCE LINE		
TELEPHONE (UNDERGROUND)		
TELEPHONE (OVERHEAD)		
ELECTRIC (UNDERGROUND)		
ELECTRIC (OVERHEAD)		
GAS LINE		
WATER LINE		
SANITARY SEWER LINE		
STORM SEWER LINE		

SURVEY LEGEND

AP = ABANDONED POLE
 CB = CATCH BASIN
 CL = CENTER LINE
 CMP = CORRUGATED METAL PIPE
 CV = CONTROL VALVE
 DIP = DUCTILE IRON PIPE
 EIP = EXISTING IRON PIPE
 EIR = EXISTING IRON REBAR
 EP = EDGE OF PAVEMENT
 EX = EXISTING
 FES = FLARED END SECTION
 FND = FOUND
 GW = GUIDE WIRE
 HW = HEAD WALL
 INV = INVERT
 LP = LIGHT POLE
 MB = MAIL BOX
 PIP = POWER POLE
 PROP = PROPOSED
 P.S.D.E = PUBLIC STORM DRAINAGE EASEMENT
 PVC = POLYVINYL CHLORIDE PIPE
 R/W = RIGHT OF WAY
 SIR = SET IRON REBAR
 SSMH = SANITARY SEWER MAN HOLE
 WM = WATER METER
 WV = WATER VALVE
 DI = YARD INLET

- DEMOLITION NOTES**
1. THE CONTRACTOR SHALL OBTAIN NECESSARY DEMOLITION PERMIT PRIOR TO ANY REMOVAL OF STRUCTURES, UTILITIES, ETC.
 2. SITE DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL BUILDING STRUCTURES, ASSOCIATE UTILITIES, FOUNDATIONS, CONCRETE WALKS, CURB AND GUTTER AND SPECIFIED ASPHALT.
 3. THE CONTRACTOR SHALL NOTIFY ALL PERTINENT UTILITY COMPANIES AT LEAST 72 HOURS PRIOR TO ANY DEMOLITION WORK.
 4. TRENCHES AND EXCAVATION AREAS SHALL BE RECOMPACTED TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY.
 5. THE CONTRACTOR SHALL PROVIDE TREE PROTECTION FOR EXISTING TREES WHERE SPECIFIED.
 6. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF AT A PERMITTED FACILITY.
 7. REFER TO SHEET C3.0 FOR PLACEMENT OF EROSION CONTROL MEASURES AND RELATED NOTES.
 8. THE REMOVAL OR RELOCATION OF EXISTING LIGHT POLES SHALL BE COORDINATED WITH RESPECTIVE UTILITY OR LIGHTING COMPANY.
 9. EXISTING PAVEMENT AND CURB SHOWN TO BE REMOVED SHALL BE SAW CUT.

STANDARD SYMBOLS

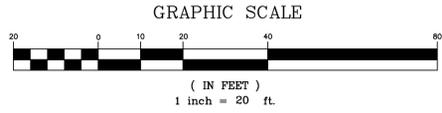


4 CONTRACTOR SHALL SAWCUT AND REMOVE EXISTING ASPHALT TO INSTALL STORM SEWER. SEE SITE PLAN C2.0 FOR ASPHALT REPAIR.

4 CONTRACTOR SHALL SAWCUT AND REMOVE EXISTING CURB AND GUTTER (DENOTED WITH "X") FOR PROPOSED DRIVEWAY CONNECTION.



Know what's below.
 Call before you dig.



U.S. HWY 74
WEST ROOSEVELT BLVD.
 EX 150' PUBLIC R/W

Mc² ENGINEERING
 MC² ENGINEERING, INC.
 2110 BEN CRAIG DR., STE. 400
 CHARLOTTE, NC 28262
 PHONE 704.510.7979

Professional Engineer Seal for D. McCluskey, License No. 29606, dated 2/21/23.

THE GEODESIC AND DRAWINGS SHOWN ARE THE PROPERTY OF M2 ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY M2 ENGINEERING, INC. IS PROHIBITED. 2021 © ENGINEERING, INC. IS PROHIBITED.

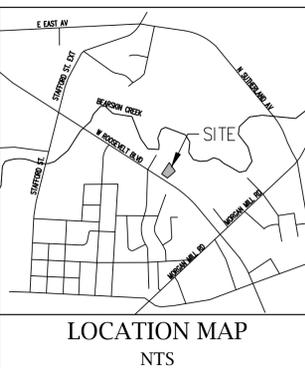
AY CARAMBA
FAMILY RESTAURANT
 650 WEST ROOSEVELT BOULEVARD
 MONROE, NC 28110

DEMO PLAN

REVISIONS		
4	2/21/23	MONROE STORMWATER

CAD FILE: 22-008 BASE.DWG
 PROJECT NO.: 22-008
 DESIGNED BY: JDM
 REVIEWED BY: JDM
 DATE: AUGUST 30, 2022

C1.0



TOTAL SITE AREA:	0.91 ACRES (±39,811 SF)
PARCEL IDS:	09-189-002
JURISDICTION:	CITY OF MONROE
DEED BOOK / PAGE:	8130 / 259
CURRENT ZONING:	GB
CURRENT USE:	VACANT
PROPOSED USE:	COMMERCIAL (RESTAURANT)
FRONT SETBACK:	50'
REAR SETBACK:	10'
SIDEYARD SETBACK:	10'
PARKING CALCULATIONS	
REQUIRED PARKING:	26
-1 SPACE PER 200 SF (PROPOSED BUILDING IS 5,100 SF)	
PROPOSED ON-SITE PARKING:	41
REQUIRED HANDICAP PARKING:	3
- 2 VAN ACCESSIBLE SPACE	
IMPERVIOUS CALCULATIONS	
PROPOSED CONCRETE:	1,635 SF
PROPOSED ASPHALT:	19,370 SF
PROPOSED BUILDING:	5,100 SF

DEVELOPMENT SUMMARY

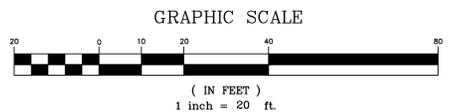
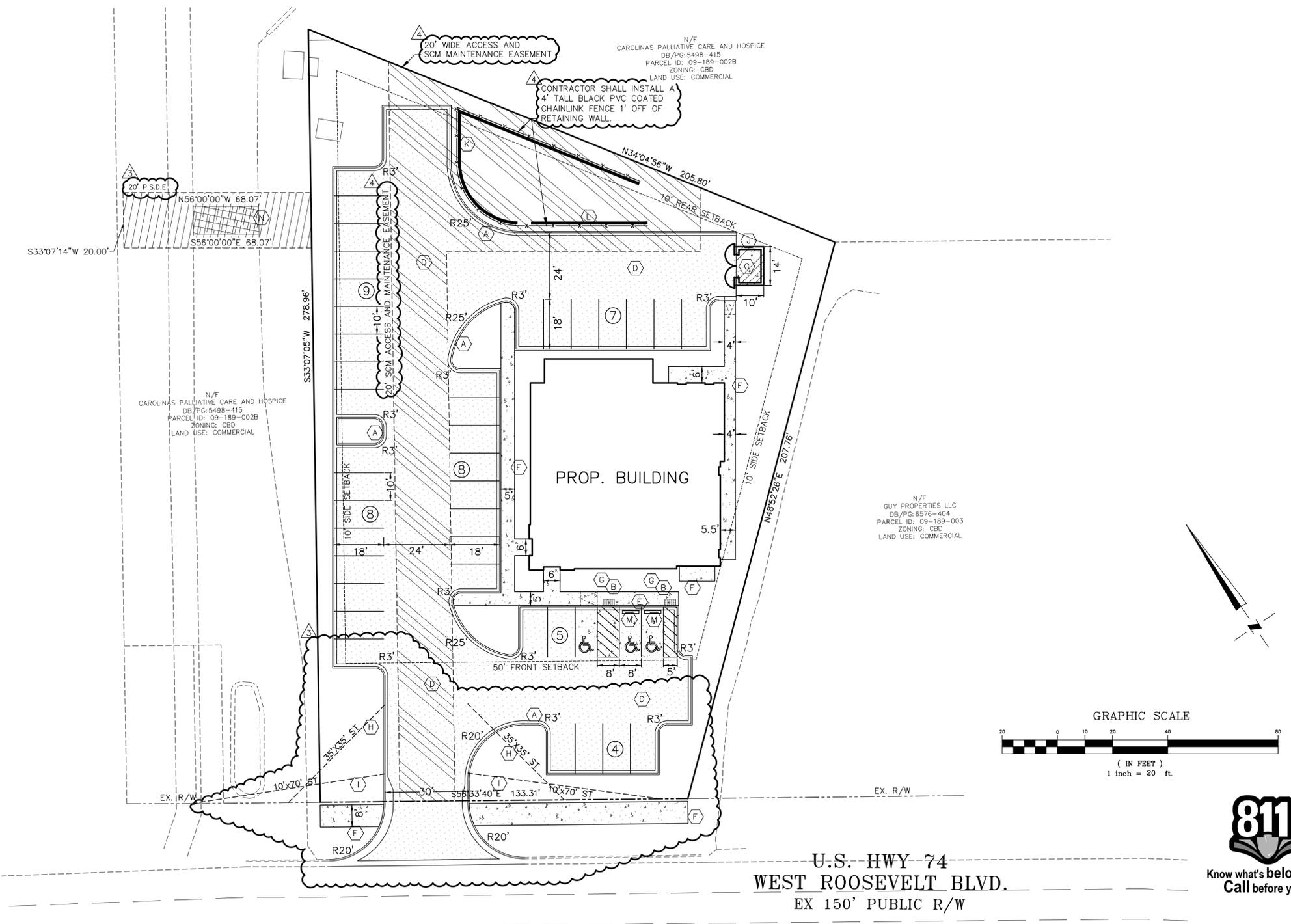
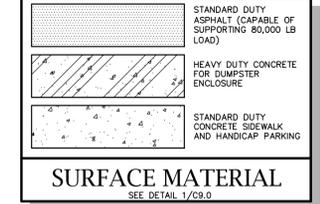
- KEY NOTES:**
- (A) INSTALL STANDARD 1'-6" CURB AND GUTTER. SEE DETAILS 1-2/C9.0.
 - (B) CONTRACTOR SHALL INSTALL TRUNCATED DOMES PER DETAIL 4/C9.0.
 - (C) SEE DETAIL 9/C9.0 FOR PROPOSED DUMPSTER ENCLOSURE. ENCLOSURE SHALL INCLUDE 2 BOLLARDS IN REAR OF DUMPSTER.
 - (D) INSTALL STANDARD DUTY ASPHALT PAVEMENT PER TYPICAL SECTION 3/C9.1.
 - (E) INSTALL HANDICAP ACCESSIBLE RAMP (WIDTH SHOWN ON PLANS) PER DETAILS 5-6/C9.0. RAMP SHALL INCLUDE TRUNCATED DOMES PER DETAIL 4/C9.0.
 - (F) INSTALL SIDEWALK SEE PROPOSED WIDTH ON PLANS SEE DETAIL 3/C9.0.
 - (G) INSTALL HANDICAP PARKING SIGNAGE SEE DETAILS 5-6/C9.1.
 - (H) CITY OF MONROE 35' X 35' SIGHT TRIANGLE
 - (I) 10' X 70' SIGHT TRIANGLE
 - (J) INSTALL HEAVY DUTY CONCRETE PAVEMENT PER TYPICAL SECTION 3/C9.1.
 - (K) 122 LF OF SEGMENTAL BLOCK RETAINING WALL. SEE GRADING PLAN (C4.0) FOR PROPOSED SPOT GRADES. WALL TO BE DESIGNED, PERMITTED AND CERTIFIED BY OTHERS.
 - (L) 42 LF OF SEGMENTAL BLOCK RETAINING WALL. SEE GRADING PLAN (C4.0) FOR PROPOSED SPOT GRADES. WALL TO BE DESIGNED, PERMITTED AND CERTIFIED BY OTHERS.
 - (M) INSTALL CONCRETE WHEEL STOP PER DETAIL 5/C9.0.
 - (N) CONTRACTOR SHALL REPAIR EXISTING ROAD SURFACE AFTER INSTALLATION OF NEW STORM WATER SERVICE. REPAIRS SHALL BE COMPLETED IN ACCORDANCE WITH (CITY OF MONROE 02.06.01) SEE DETAIL 9/C9.1.

CITY OF MONROE STANDARD NOTES:
 ANY ADDITIONAL CONTRACTOR INITIATED REQUEST TO DEVIATE FROM THE CITY OF MONROE STANDARD SPECIFICATIONS AND DETAIL MANUAL SHALL BE REQUESTED IN WRITING ALONG WITH THE JUSTIFICATION FOR REVIEW AND RECOMMENDATION BY THE CITY OF MONROE ENGINEERING DEPARTMENT.

SUBSTANTIAL COMPLETION INCLUDES COMPLETION AND ACCEPTANCE OF THE STORMWATER BEST MANAGEMENT PRACTICE (BMP) PROPOSED FOR THE SITE. THE CERTIFICATE OF OCCUPANCY (CO) CANNOT BE RELEASED UNTIL THE BMP IS COMPLETE. A TEMPORARY CO MAY BE ISSUED IN CASES IF THE BMP IS FUNCTIONING BUT NOT COMPLETE DUE TO REQUIRED LANDSCAPING AND A BOND IS USED TO GUARANTEE COMPLETION.

- SITE NOTES:**
1. DIMENSIONS AND COORDINATE POINTS ARE TO BACK OF CURB OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
 2. ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
 3. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS NOT ALREADY OBTAINED BY THE DESIGN TEAM FROM ALL REGULATORY AUTHORITIES AND SHALL KEEP COPIES OF ALL APPLICABLE PERMITS ON SITE.
 4. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
 5. GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
 6. DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
 7. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES(MUTCD), 1988 EDITION AS AMENDED.
 8. ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE "YELLOW" UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
 9. CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT CONNECTION TO NEW ASPHALT PARKING AREA.

CITY OF MONROE ZONING NOTES:
 AN AS-BUILT SURVEY SHALL BE REQUIRED FOR ALL NEW, EXPANDED, OR RELOCATED STRUCTURES WHICH SHALL ACCURATELY SHOW THE FOOTPRINT OF THE STRUCTURE, APPURTENANCES, ALL EXISTING STRUCTURES, APPLICABLE SETBACKS, AND PROPERTY BOUNDARY LINES PRIOR TO THE RELEASE OF ANY CERTIFICATE OF OCCUPANCY. **ALL ZONING REQUIREMENTS MUST BE INSPECTED BY THE ZONING OFFICER PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY IF REQUIRED.** CALL 704.282.4524 TO SCHEDULE A ZONING INSPECTION.



U.S. HWY 74
WEST ROOSEVELT BLVD.
 EX 150' PUBLIC R/W

Mc² ENGINEERING
 MC² ENGINEERING, INC.
 2110 BEN CRAIG DR., STE. 400
 CHARLOTTE, NC 28262
 PHONE 704.510.9797

Professional Engineer Seal for D. McCluskey, No. 29606, State of North Carolina, dated 2/21/23.

THE GEODESIC AND DRAWINGS SHOWN ARE THE PROPERTY OF MC² ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY MC² ENGINEERING, INC. IS PROHIBITED. 2021 ©

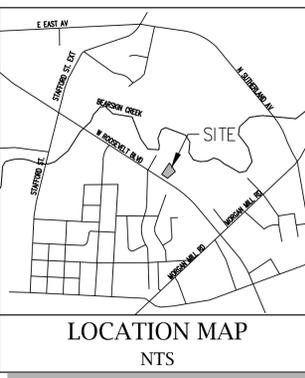
AY CARAMBA
FAMILY RESTAURANT
 650 WEST ROOSEVELT BOULEVARD
 MONROE, NC 28110

SITE PLAN

REVISIONS		
1	9/30/22	CITY COMMENTS
2	10/28/22	VARIOUS COMMENTS
3	2/6/23	VARIOUS COMMENTS
4	2/21/23	MONROE STORMWATER

CAD FILE: 22-008 BASE.DWG
 PROJECT NO.: 22-008
 DESIGNED BY: JDM
 REVIEWED BY: JDM
 DATE: AUGUST 30, 2022

C2.0



- SITE/UTILITY NOTES:**
1. MAINTAIN MINIMUM 10' HORIZONTAL SEPARATION BETWEEN WATER LINE AND OTHER UTILITY LINES.
 2. CONTRACTOR TO LOCATE BUILDING TIE-INS PER PLUMBING PLANS.
 3. ALL BACKFLOW PREVENTERS SHALL BE IN ACCORDANCE WITH APPENDIX B OF THE NORTH CAROLINA "RULES GOVERNING PUBLIC WATER SYSTEMS"
 4. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BY-PASS HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND THE REQUIRED BACKFLOW ASSEMBLY.
 5. REQUIRED BACKFLOW PREVENTER SHALL BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING WATER SYSTEM IN SERVICE.
 6. WATER SERVICE TO BE INSTALLED PER CITY OF MONROE REQUIREMENTS.
 7. NO PERMANENT INSULATION MAY BE INSTALLED ON THE BP ASSEMBLY.
 8. WATERLINE SHALL BE INSTALLED WITH A MINIMUM OF 36" OF COVER.
 9. CONTRACTOR SHALL INSTALL A COPPER TRACER WIRE WITH PROPOSED PVC WATERLINE FOR FUTURE LOCATING. CONTRACTOR SHALL PROVIDE EXTRA LOOP OF WIRE IN VALVE BOXES.
 10. CONTRACTOR SHALL FURNISH TRAFFIC BEARING SANITARY SEWER CLEANOUT COVERS IN ALL TRAFFIC BEARING LOCATIONS AND SIDEWALKS.
 11. ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND

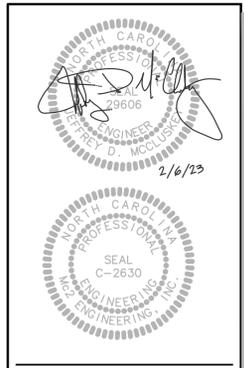
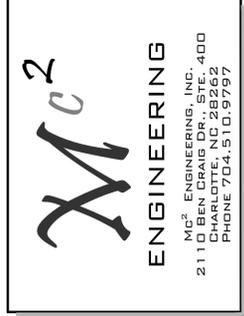
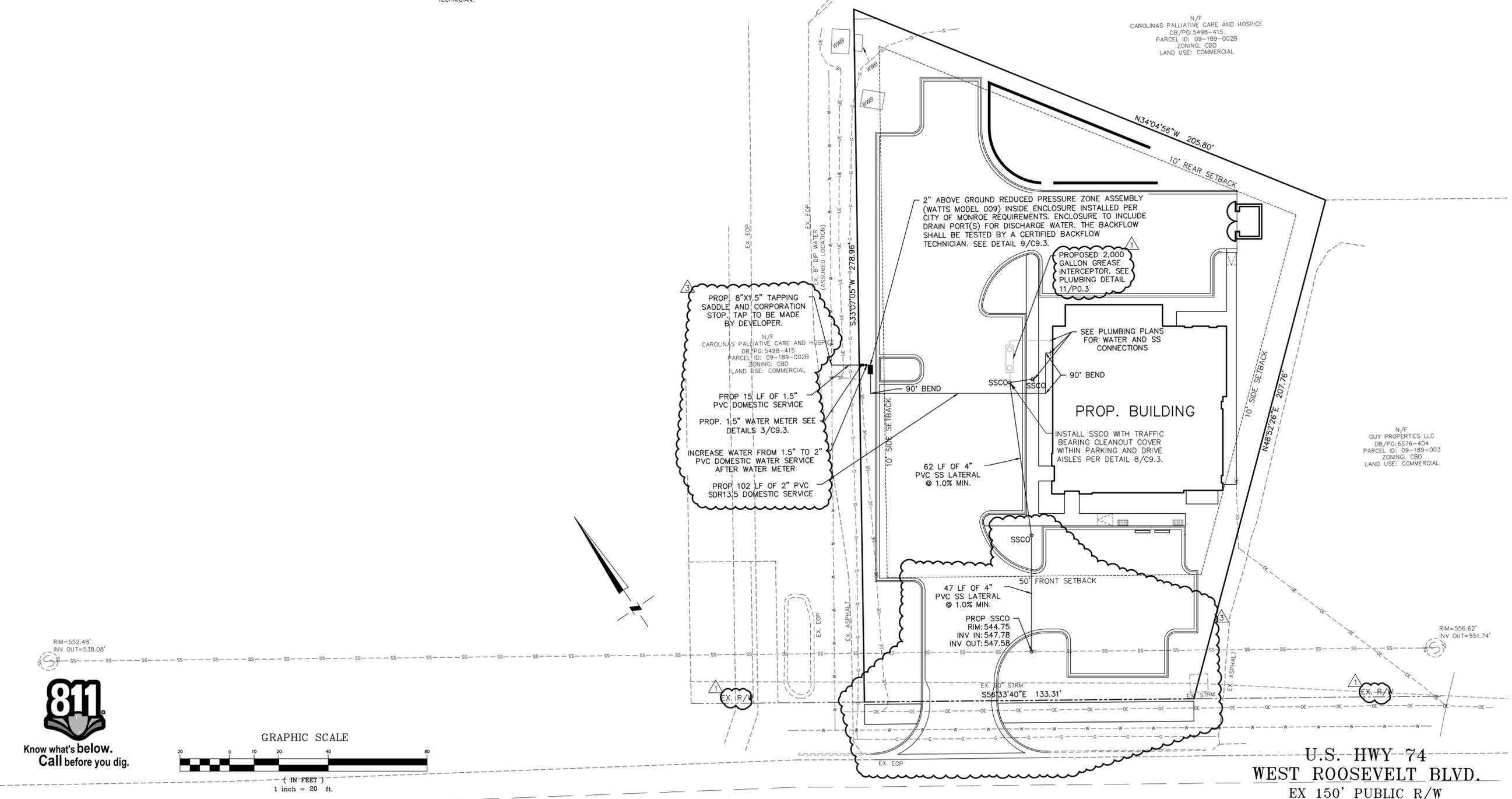
- CITY OF MONROE UTILITY NOTES:**
1. THE WATER MAINS ALONG US HWY 74 ARE ASBESTOS CEMENT. NO SIGNIFICANT GRADING SHALL OCCUR OVER THE WATER MAINS. NO LARGE/HEAVY EQUIPMENT SHALL BE PARKED OVER THE WATER MAINS. PLEASE CONTACT CHARLES DERRICK AT 704.282.4610 WITH ANY QUESTIONS.
 2. SHOP DRAWINGS OF ALL CONTRACTOR INSTALLED METERS, BACKFLOW DEVICES AND VAULTS MUST BE SUBMITTED TO THE WATER RESOURCES ENGINEERING DIVISION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. A CITY OF MONROE WATER RESOURCES DEPARTMENT STAMPED APPROVAL OF THE SHOP DRAWINGS SUBMITTALS SHALL BE SENT TO THE CONTRACTOR. ALL INSTALLED METERS, BACKFLOW DEVICES AND VAULTS NOT MEETING THE REQUIREMENTS OF THE CITY OF MONROE WATER RESOURCES DEPARTMENT STAMPED APPROVED SHOP DRAWINGS SHALL BE REJECTED. FAILURE TO SUBMIT SHOP DRAWINGS OF ALL METERS, BACKFLOW DEVICES AND VAULTS WILL RESULT IN A DELAY IN THE INSPECTION OF THE INSTALLATION AND A DELAY IN OBTAINING THE BUILDING'S CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO REPLACE UNAPPROVED INSTALLATION OR INSTALLATIONS NOT MEETING ALL REQUIREMENTS.
 3. PLEASE CONTACT CHARLES DERRICK, WATER RESOURCES MAINTENANCE SUPERINTENDENT, AT 704.282.4610 TO CONDUCT AN ONSITE INSPECTION OF THE METER AND BACKFLOW INSTALLATION AND VERIFY THE RADIO READ SIGNAL OF THE METER ARE FUNCTIONING PROPERLY. THE APPLICANT MUST INSTALL THE METERS AND BACKFLOWS IN ACCORDANCE WITH THE CITY OF MONROE STANDARD SPECIFICATIONS AND DETAILS AND THEN SHALL CONTACT THE WATER RESOURCES DEPARTMENT 72 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION OF ALL CONTRACTOR INSTALLED METERS. FAILURE TO CONTACT THE WATER RESOURCES MAINTENANCE SUPERINTENDENT WILL RESULT IN A DENIAL OF THE RELEASE OF CERTIFICATE OF OCCUPANCY.
 4. SEE DETAIL 3 ON SHEET C9.3 FOR THE CITY OF MONROE STANDARD DETAILS FOR METERS.
 5. CONTRACTOR SHALL INSTALL AND TEST A REDUCED DETECTOR PRESSURE ZONE ASSEMBLY BACKFLOW PREVENTION DEVICE APPROVED BY CITY ON FIRE LINE SERVICE BETWEEN CITY METER BOX AND FIRST BRANCH TAP. DEVICE SHALL BE TESTED BY A CERTIFIED BACKFLOW TECHNICIAN.

6. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING BUILDING SEWER ELEVATIONS SATISFACTORY TO MEET CITY'S TAP LOCATION AND DEPTH AS WELL AS SATISFY NO PLUMBING CODE. IF NECESSARY, CONTRACTOR SHALL FURNISH A LIFT PUMP AS PART OF THE BUILDING SEWER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE ON-SITE INSPECTION WITH THE CITY OF MONROE IF THERE ARE QUESTIONS ABOUT THE LOCATION OR DEPTH LIMITS ON THE CITY'S SEWER TAP.
7. CONTRACTOR SHALL REQUIRE HIS/HER PLUMBER TO DETERMINE IF A BACKWATER IN ACCORDANCE WITH THE NC STATE BUILDING CODE, VOLUME II OR VOLUME VII. IF REQUIRED, A BACKWATER VALVE CERTIFICATION TO PLUMBING INSPECTOR THAT PLUMBER HAS DETERMINED ELEVATION OF CLOSEST UPSTREAM MANHOLE OF PUBLIC SEWER IS BELOW THE ELEVATION OF ALL PLUMBING FIXTURES INSTALLED. APPROXIMATE LOCATION OF CLOSEST UPSTREAM MANHOLE ON CITY OF MONROE PUBLIC SEWER IS ON CIVIL PLANS. PLUMBER SHOULD CALL 704.282.4601 IF ASSISTANCE FROM CITY IN LOCATING MANHOLE IS REQUIRED.
8. PURSUANT TO NORTH CAROLINA GS 143-355.4, ALL NEW NEW IN-GROUND IRRIGATION SYSTEM INSTALLED IN THE CITY OF MONROE SHALL BE CONNECTED TO A SEPARATE WATER METER.
9. DRIVEWAYS SHALL BE LOCATED SIX (6) FEET AWAY FROM FIRE HYDRANTS IF LOCATED ON PROPERTY.
10. ANY GRADING RESULTING IN GRADE CHANGES AROUND FIRE HYDRANTS OR WATER VALVES SHALL REQUIRE FIRE HYDRANTS OR WATER VALVES TO BE ADJUSTED AT THE CONTRACTOR'S EXPENSE.
11. NO METER BOX OR SEWER CLEANOUT SHALL BE LOCATED WITHIN THE DRIVEWAY. ANY CONFLICTS SHALL REQUIRE THE CONTRACTOR TO PAY FOR THE SERVICES TO BE RELOCATED BY THE WATER RESOURCES DEPARTMENT.
12. SEWER CLEANOUTS SHALL BE LOCATED OUTSIDE OF ANY LOW LYING AREAS NOT SUBJECT TO RUNOFF.
13. NO PERMANENT STRUCTURES, FENCES, EXTENSIVE LANDSCAPING OR TREES SHALL BE PLACED WITHIN 10' OF A WATER MAIN OR WITHIN 15' OF A SANITARY SEWER MAIN.

14. ANY GRADING RESULTING IN DEPTH OF COVER OVER EXISTING WATER OR SEWER MAINS SHALL REQUIRE WRITTEN APPROVAL FROM WATER RESOURCES DEPARTMENT.
15. ANY CONFLICTS WITH EXISTING MAINS OR APPURTENANCES SHALL BE BROUGHT TO THE ATTENTION OF THE WATER RESOURCES ENGINEER FOR REVIEW AND APPROVAL AND RESOLVED AT THE DEVELOPERS EXPENSE.
16. WATER AND SEWER TAPS ARE TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR. SEWER TAPS FOR A 8" SERVICE MUST BE MADE TO A MANHOLE. THE WATER AND SEWER TAPS MUST BE INSTALLED UNDER THE SUPERVISION OF THE WATER RESOURCES MAINTENANCE SUPERINTENDENT OR AUTHORIZED REPRESENTATIVE. TAPS MUST BE SCHEDULED A MINIMUM OF 72-HOURS IN ADVANCE. CONTACT CHARLES DERRICK AT (704) 282-4610 TO SCHEDULE TAPS.
17. THE SEWER SERVICE INSTALLATION MAY RESULT IN RE-GRADING OVER TOP OF THE EXISTING 8" AC WATER MAIN ALONG US HWY 74. CONTRACTOR IS TO PROTECT ALL UTILITY FEATURES IN PLACE AND ADJUST THEM FLUSH WITH FINAL GRADE. A MINIMUM OF 3' OF COVER IS REQUIRED FOR WATER MAINS.
18. AN ENCROACHMENT AGREEMENT WITH NCDOT IS REQUIRED FOR THE WATER SERVICE INSTALLED BY A UTILITY CONTRACTOR WITHIN THE US HWY 74 RIGHT-OF-WAY.
19. PLEASE CONTACT THE PRETREATMENT COORDINATOR, KEVIN KEESLER, AT 704-282-4632 WITH ANY QUESTIONS BEFORE ORDERING THE TRAP TO SCHEDULE AN ONSITE INSPECTION OF THE GREASE TRAP. GREASE TRAP MUST BE INSPECTED PRIOR TO BACKFILLING.
20. 72 HOURS ADVANCE NOTICE IS REQUIRED PRIOR TO INSPECTION VISIT. GREASE TRAP MUST BE CLEANED PRIOR TO THE INSPECTION UNLESS IT IS A NEW UNIT.
21. CONTRACTOR SHALL INSTALL AND TEST A REDUCED PRESSURE ZONE ASSEMBLY BACKFLOW PREVENTION DEVICE APPROVED BY CITY ON BUILDING WATER SERVICE BETWEEN CITY METER BOX AND FIRST BRANCH TAP. DEVICE SHALL BE TESTED BY A CERTIFIED BACKFLOW TECHNICIAN.

- RELATION OF WATER MAINS TO SEWERS (TAKEN FROM 15A NCAC 18C SECTION .0906 AND 15A NCAC 2T):**
- LATERAL SEPARATION OF SEWERS AND WATER MAINS**
1. SEWER AND WATER MAINS SHALL HAVE AT LEAST A 10 FEET HORIZONTALLY SEPARATION MEASURED FROM OUTSIDE EDGE TO OUTSIDE EDGE OF PIPE.
 2. IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150 PSI TO ASSURE WATERTIGHTNESS BEFORE BACKFILLING.
 3. A 24 INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED.
- CROSSING A WATER MAIN OVER A SEWER**
4. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 24 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 24 INCH VERTICAL SEPARATION IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER**
5. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

LOCATION MAP NTS



THE GEODESIC AND DRAWINGS SHOWN ARE THE PROPERTY OF M2 ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY M2 ENGINEERING, INC. IS PROHIBITED. 2021 © ENGINEERING, INC. IS PROHIBITED.

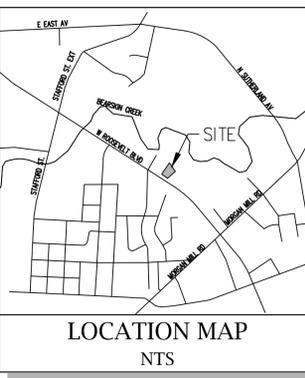
AY CARAMBA
FAMILY RESTAURANT
650 WEST ROOSEVELT BOULEVARD
MONROE, NC 28110

UTILITY PLAN

REVISIONS		
1	9/30/22	CITY COMMENTS
2	10/28/22	VARIOUS COMMENTS
3	2/6/23	VARIOUS COMMENTS

CAD FILE: 22-008 BASE.DWG
 PROJECT NO.: 22-008
 DESIGNED BY: JDM
 REVIEWED BY: JDM
 DATE: AUGUST 30, 2022

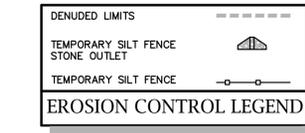
C2.1



DISTURBED ACREAGE:
 ±0.93 AC (40,298 SF)

SOIL TYPE:
 BuB - Badin Urban Land Complex
 CnB - CID Urban Land Complex

SOIL LEGEND



EROSION CONTROL NOTES:

- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM UNION COUNTY.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY THE CITY OF MONROE EROSION CONTROL SPECIALIST.
- SLOPES SHALL BE GRADED NO STEEPER THAN 2:1.
- THE DEVELOPER SHALL OBTAIN AN APPROVED ENCROACHMENT AGREEMENT PRIOR TO BEGINNING WORK WITHIN AN NCDOT RIGHT-OF-WAY FOR ALL UTILITY, SIDEWALK AND STORM DRAINAGE IMPROVEMENTS.
- THE CONTRACTOR SHALL SECURE A PERMIT FOR GRADING, STAGING OR STOCKPILING MATERIALS; HOWEVER, IF ANY EXCESS SOIL IS HAULED OFFSITE OR IMPORTED IT MUST BE TO OR FROM AN APPROVED PERMITTED SITE.
- ALL EROSION CONTROL DESIGNS SHALL BE IN ACCORDANCE WITH THE NCDENR EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL LATEST EDITION, UNLESS STATED BY THE CITY OF MONROE STANDARD SPECIFICATIONS AND DETAIL MANUAL.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE CITY OF MONROE EROSION CONTROL SPECIALIST, SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK OR CHANNEL IN AN UNOBSTRUCTED CONDITION AND SHALL REMOVE FROM THESE AREAS ALL DEBRIS, LOGS, TIMBER, TRASH, JUNK AND OTHER ACCUMULATIONS.
- ANY GRADING BEYOND THE DENUEDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF CITY OF MONROE EROSION AND SEDIMENTATION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE NC SEDIMENTATION EROSION AND SEDIMENTATION CONTROL LAWS AND IS SUBJECT TO SEVERE FINES.
- A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING MORE THAN 12,000 SF OF LAND FOR COMMERCIAL, INDUSTRIAL OR SUBDIVISION DEVELOPMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL SELF-INSPECTION REPORTS.
- THE CITY OF MONROE EROSION CONTROL SPECIALIST WILL PERFORM PERIODIC INSPECTIONS OF THE SITE TO INSURE COMPLIANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN. ANY NON-COMPLIANCE AND CHANGES TO THE SITE SHALL BE REPORTED IMMEDIATELY TO THE CITY OF MONROE EROSION CONTROL SPECIALIST FOR REMEDY BY THE CONTRACTOR.

CITY OF MONROE CONSTRUCTION NOTES:

- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CLEARING OPERATIONS. NO LAND DISTURBING ACTIVITY, EXCEPT THAT WHICH IS REQUIRED TO INSTALL EROSION CONTROL MEASURES, MAY COMMENCE PRIOR TO APPROVAL OF CERTIFICATION FORM 1-01 BY THE ENGINEERING DIRECTOR.
- ANY FAILURE TO MAINTAIN EROSION CONTROL MEASURES WILL RESULT IN APPROPRIATE ENFORCEMENT ACTIONS IN ACCORDANCE WITH THE CITY OF MONROE EROSION AND SEDIMENTATION CONTROL ORDINANCE, THE NORTH CAROLINA SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NCGS CHAPTER 113A, ARTICLE 4), AND THE NORTH CAROLINA ADMINISTRATIVE CODE TITLE 15A, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CHAPTER 4.
- IF FAILURES TO MAINTAIN EROSION CONTROL MEASURES ARE NOT CORRECTED, THE CITY OF MONROE WILL INITIATE ENFORCEMENT ACTION AS AUTHORIZED BY THE CITY CODE OF ORDINANCES.
- ANY EXISTING STREETS THAT ARE AFFECTED BY MUD, DEBRIS, OR SEDIMENT SHALL BE CLEANED WITHIN 24 HOURS OF NOTICE. IF THE STREETS ARE NOT CLEANED WITHIN 24 HOURS OF NOTICE, THE CITY WILL INITIATE CLEANING AND BILL THE DEVELOPER IN THE AMOUNT OF CURRENT POLICIES. FOR A NEW SUBDIVISION, THE CITY OF MONROE SHALL NOT ACCEPT THE RIGHT-OF-WAY FOR MAINTENANCE UNTIL ALL OUTSTANDING BILLS ARE PAID IN FULL.

- KEY NOTES:**
- (A) DENUEDED LIMITS.
 - (B) TEMPORARY SILT FENCE SEE DETAIL 1/C9.2.
 - (C) TEMPORARY STABILIZED CONSTRUCTION ENTRANCE SEE DETAIL 2/C9.2.
 - (D) INSTALL TEMPORARY SILT FENCE STONE OUTLET. SEE DETAIL 3/C9.2.
 - (E) SEE RISER CONTROL STRUCTURE (OC 2) DETAIL 6/C9.2 FOR CONSTRUCTION DETAILS. CONTRACTOR SHALL CONNECT SKIMMER TO PROPOSED 6" UNDERDRAIN CONNECTION AT 549.57.
 - (F) TEMPORARY SKIMMER SEDIMENT BASIN (TSSB #1) SEE DETAILS 2-3/C9.4. ALL TSSB SHALL CONTAIN BAFFLES PER DETAIL 1/C9.4.

CITY OF MONROE EROSION CONTROL NOTES:

- IF DISTURBING LESS THAN 1 ACRE, ADD THIS NOTE: GROUND COVER ON EXPOSED SLOPES SHALL BE APPLIED WITHIN 14 WORKING DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE APPLIED WITHIN 15 WORKING DAYS OR 60 CALENDAR DAYS, WHICHEVER IS SOONER. SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.
- NO LAND DISTURBING ACTIVITY, EXCEPT THAT WHICH IS REQUIRED TO INSTALL EROSION CONTROL MEASURES, MAY COMMENCE PRIOR TO APPROVAL BY THE ENGINEERING DIRECTOR OF CERTIFICATION FORM 1-01.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON SPECIFIC SITE CONDITIONS.
- CONTACT THE CITY OF MONROE ENGINEERING DEPARTMENT, AT 704-282-4515, FOR A PRECONSTRUCTION MEETING PRIOR TO ANY LAND DISTURBING ACTIVITY.
- CONTRACTOR IS TO KEEP STREET CLEAR OF MUD AND OTHER DEBRIS PER THE CITY OF MONROE MUD ORDINANCE, TITLE VII, PARAGRAPH 71.20.
- THE PROFESSIONAL ENGINEER REGISTERED WITH THE STATE OF NORTH CAROLINA WHO PREPARED THE EROSION CONTROL PLAN IS SOLELY RESPONSIBLE FOR IDENTIFICATION AND LOCATION OF ALL ENVIRONMENTAL WETLANDS, PERENNIAL AND INTERMITTENT STREAMS AND BUFFERS SHOWN ON THE PLANS.
- THE CITY OF MONROE IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND ELEVATIONS, WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. THE CITY OF MONROE, THROUGH THE APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

NO FILL MATERIAL OR OTHER DEVELOPMENT IS ALLOWED TO ENCR OACH INTO THE FLOODWAY OR NON-ENCROACHMENT AREA OF ANY WATERCOURSE. IF IT IS DETERMINED THAT FILL AND CONSTRUCTION ACTIVITY WILL OCCUR, IMMEDIATELY CONTRACT THE CITY OF MONROE STORMWATER DEPARTMENT.

CITY OF MONROE SCHEDULING NOTES:

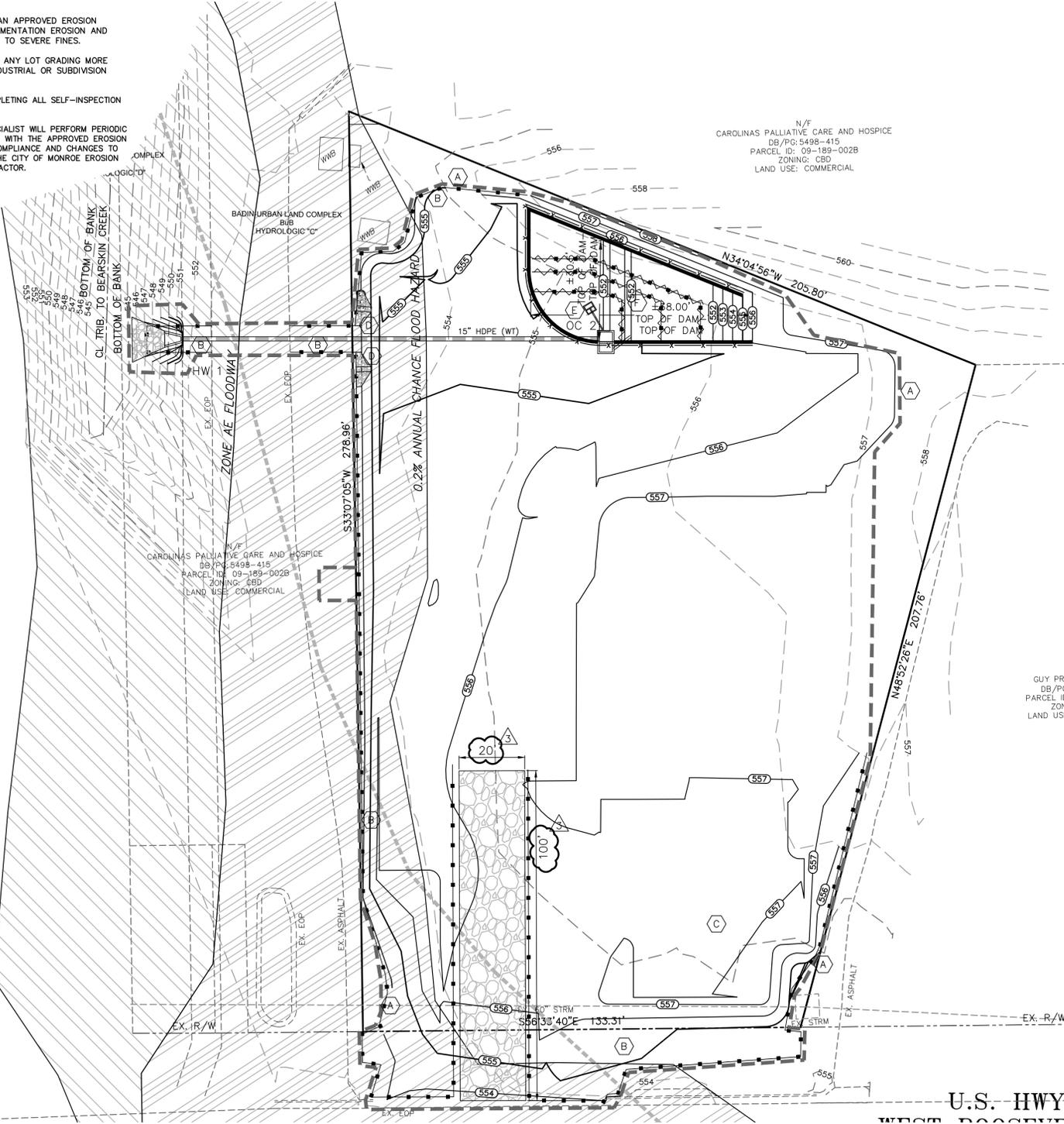
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE PROVIDED FOR ALL LAND DISTURBING WORK IN ACCORDANCE WITH AN EROSION CONTROL PLAN REVIEWED AND APPROVED BY THE CITY OF MONROE ENGINEERING DEPARTMENT.
- A GRADING PERMIT SHALL BE OBTAINED FROM THE CITY OF MONROE ENGINEERING DEPARTMENT PRIOR TO BEGINNING SITE WORK.
- EROSION CONTROL MEASURES SHALL BE INSTALLED BY THE DEVELOPER AND INSPECTED BY THE CITY OF MONROE ENGINEERING DEPARTMENT FOR COMPLIANCE PRIOR TO ANY LAND DISTURBING ACTIVITY.
- ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INCORPORATED INTO THE WORK AT THE EARLIEST PRACTICAL TIME.
- ALL TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL THE PERMANENT MEASURES HAVE TAKEN EFFECT OR ARE APPROVED FOR REMOVAL BY THE CITY OF MONROE ENGINEERING DEPARTMENT.
- TEMPORARY AND PERMANENT MEASURES SHALL BE COORDINATED TO PROVIDE EFFECTIVE AND CONTINUOUS EROSION CONTROL THROUGHOUT THE CONSTRUCTION AND POST-CONSTRUCTION PERIOD TO MINIMIZE SILTATION OF STREAMS, LAKES, RESERVOIRS, AND OTHER IMPOUNDMENTS, GROUND SURFACES, AND OTHER PROPERTY.
- TEMPORARY MEASURES SHALL REMAIN IN PLACE UNTIL THE ENGINEERING DIRECTOR APPROVES CERTIFICATION FORM 1-06 FINAL EROSION CONTROL ACCEPTANCE FORM.

CITY OF MONROE CONSTRUCTION SEQUENCE NOTES:

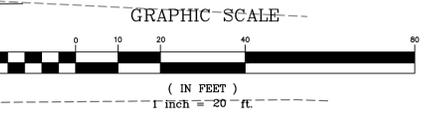
- OBTAIN APPROVAL LETTER FOR EROSION CONTROL AND SCHEDULE PRE-CONSTRUCTION MEETING ON-SITE WITH THE CITY OF MONROE ENGINEERING DEPARTMENT EROSION CONTROL SPECIALIST. ALL APPROVED PLANS AND REQUIRED PERMITS WILL BE ISSUED AT THE MEETING PRIOR TO ANY LAND DISTURBING ACTIVITY.
- INSTALL ALL EROSION CONTROL MEASURES AS SHOWN ON APPROVED PLAN.
- SUBMIT CERTIFICATION FORM 1-01, PRIMARY EROSION CONTROL INSPECTION FORM, TO THE EROSION CONTROL SPECIALIST DURING THE INSPECTION OF INSTALLED EROSION CONTROL MEASURES.
- PROCEED WITH GRADING.
- SEED AND MULCH DENUEDED AREA IMMEDIATELY AFTER FINISHED GRADES ARE ESTABLISHED.
- MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL A PERMANENT GROUND COVER IS ESTABLISHED.
- ADDITIONAL MEASURES MAY BE REQUIRED BASED UPON ACTUAL SITE CONDITIONS.
- SUBMIT CERTIFICATION FORM 1-06, FINAL EROSION CONTROL ACCEPTANCE FORM, TO THE EROSION CONTROL SPECIALIST TO SCHEDULE A FINAL ON-SITE INSPECTION.
- REMOVE SOIL EROSION CONTROL MEASURES AND STABILIZE THESE AREAS UPON APPROVAL OF CERTIFICATION FORM 1-06.
- SUBMIT CERTIFICATION FORM 1-07 WHEN THERE IS AN INTERMEDIARY REMOVAL OF EROSION CONTROL MEASURES.

BC = BACK OF CURB
 TS = TOP OF SIDEWALK
 HC = HANDICAP
 BW = BOTTOM OF WALL
 EP = EDGE OF PAVEMENT
 HP = RELATIVE HIGH POINT
 CL = CENTERLINE OF DRIVE
 OC = OUTLET CONTROL
 FES = FLARED END SECTION

ABBREVIATION LEGEND



Know what's below.
 Call before you dig.



U.S. HWY 74
 WEST ROOSEVELT BLVD

Mc² ENGINEERING
 MC² ENGINEERING, INC.
 2110 BEN CRAIG DR., STE. 400
 CHARLOTTE, NC 28262
 PHONE 704.510.7979

2/21/23

THE DESIGN AND DRAWINGS SHOWN ARE THE PROPERTY OF MC² ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY MC² ENGINEERING, INC. IS PROHIBITED. 2021 ©

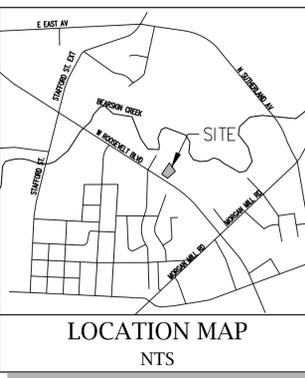
AY CARAMBA
 FAMILY RESTAURANT
 650 WEST ROOSEVELT BOULEVARD
 MONROE, NC 28110

EROSION CONTROL PLAN - PHASE 1

REVISIONS	
3	2/6/23 VARIOUS COMMENTS
4	2/21/23 MONROE STORMWATER

CAD FILE: 22-008 BASE.DWG
 PROJECT NO.: 22-008
 DESIGNED BY: JDM
 REVIEWED BY: JDM
 DATE: AUGUST 30, 2022

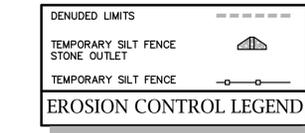
C3.0



DISTURBED ACREAGE:
 ±0.93 AC (40,298 SF)

SOIL TYPE:
 BuB - Badin Urban Land Complex
 CnB - CID Urban Land Complex

SOIL LEGEND



EROSION CONTROL NOTES:

- ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM UNION COUNTY.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY THE CITY OF MONROE EROSION CONTROL SPECIALIST.
- SLOPES SHALL BE GRADED NO STEEPER THAN 2:1.
- THE DEVELOPER SHALL OBTAIN AN APPROVED ENCROACHMENT AGREEMENT PRIOR TO BEGINNING WORK WITHIN AN NCDOT RIGHT-OF-WAY FOR ALL UTILITY, SIDEWALK AND STORM DRAINAGE IMPROVEMENTS.
- THE CONTRACTOR SHALL SECURE A PERMIT FOR GRADING, STAGING OR STOCKPILING MATERIALS; HOWEVER, IF ANY EXCESS SOIL IS HAULED OFFSITE OR IMPORTED IT MUST BE TO OR FROM AN APPROVED PERMITTED SITE.
- ALL EROSION CONTROL DESIGNS SHALL BE IN ACCORDANCE WITH THE NCDENR EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL LATEST EDITION, UNLESS STATED BY THE CITY OF MONROE STANDARD SPECIFICATIONS AND DETAIL MANUAL.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE CITY OF MONROE EROSION CONTROL SPECIALIST, SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK OR CHANNEL IN AN UNOBSTRUCTED CONDITION AND SHALL REMOVE FROM THESE AREAS ALL DEBRIS, LOGS, TIMBER, TRASH, JUNK AND OTHER ACCUMULATIONS.
- ANY GRADING BEYOND THE DENUEDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF CITY OF MONROE EROSION AND SEDIMENTATION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE NC SEDIMENTATION EROSION AND SEDIMENTATION CONTROL LAWS AND IS SUBJECT TO SEVERE FINES.
- A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING MORE THAN 12,000 SF OF LAND FOR COMMERCIAL, INDUSTRIAL OR SUBDIVISION DEVELOPMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL SELF-INSPECTION REPORTS.
- THE CITY OF MONROE EROSION CONTROL SPECIALIST WILL PERFORM PERIODIC INSPECTIONS OF THE SITE TO INSURE COMPLIANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN. ANY NON-COMPLIANCE AND CHANGES TO THE SITE SHALL BE REPORTED IMMEDIATELY TO THE CITY OF MONROE EROSION CONTROL SPECIALIST FOR REMEDY BY THE CONTRACTOR.

CITY OF MONROE CONSTRUCTION NOTES:

- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CLEARING OPERATIONS. NO LAND DISTURBING ACTIVITY, EXCEPT THAT WHICH IS REQUIRED TO INSTALL EROSION CONTROL MEASURES, MAY COMMENCE PRIOR TO APPROVAL OF CERTIFICATION FORM 1-01 BY THE ENGINEERING DIRECTOR.
- ANY FAILURE TO MAINTAIN EROSION CONTROL MEASURES WILL RESULT IN APPROPRIATE ENFORCEMENT ACTIONS IN ACCORDANCE WITH THE CITY OF MONROE EROSION AND SEDIMENTATION CONTROL ORDINANCE, THE NORTH CAROLINA SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NCGS CHAPTER 113A, ARTICLE 4), AND THE NORTH CAROLINA ADMINISTRATIVE CODE TITLE 15A, DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CHAPTER 4.
- IF FAILURES TO MAINTAIN EROSION CONTROL MEASURES ARE NOT CORRECTED, THE CITY OF MONROE WILL INITIATE ENFORCEMENT ACTION AS AUTHORIZED BY THE CITY CODE OF ORDINANCES.
- ANY EXISTING STREETS THAT ARE AFFECTED BY MUD, DEBRIS, OR SEDIMENT SHALL BE CLEANED WITHIN 24 HOURS OF NOTICE. IF THE STREETS ARE NOT CLEANED WITHIN 24 HOURS OF NOTICE, THE CITY WILL INITIATE CLEANING AND BILL THE DEVELOPER IN THE AMOUNT OF CURRENT POLICIES. FOR A NEW SUBDIVISION, THE CITY OF MONROE SHALL NOT ACCEPT THE RIGHT-OF-WAY FOR MAINTENANCE UNTIL ALL OUTSTANDING BILLS ARE PAID IN FULL.

KEY NOTES:

- (A) DENUEDED LIMITS.
- (B) TEMPORARY SILT FENCE SEE DETAIL 1/C9.2.
- (C) TEMPORARY STABILIZED CONSTRUCTION ENTRANCE SEE DETAIL 2/C9.2.
- (D) INSTALL TEMPORARY SILT FENCE STONE OUTLET. SEE DETAIL 3/C9.2.
- (E) SEE RISER CONTROL STRUCTURE (OC 2) DETAIL 6/C9.2 FOR CONSTRUCTION DETAILS. CONTRACTOR SHALL CONNECT SKIMMER TO PROPOSED 6" UNDERDRAIN CONNECTION AT 549.57.
- (F) TEMPORARY SKIMMER SEDIMENT BASIN (TSSB #1) SEE DETAILS 2-3/C9.4. ALL TSSB SHALL CONTAIN BAFFLES PER DETAIL 1/C9.4.

CITY OF MONROE EROSION CONTROL NOTES:

- IF DISTURBING LESS THAN 1 ACRE, ADD THIS NOTE: GROUND COVER ON EXPOSED SLOPES SHALL BE APPLIED WITHIN 14 WORKING DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE APPLIED WITHIN 15 WORKING DAYS OR 60 CALENDAR DAYS, WHICHEVER IS SOONER. SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.
- NO LAND DISTURBING ACTIVITY, EXCEPT THAT WHICH IS REQUIRED TO INSTALL EROSION CONTROL MEASURES, MAY COMMENCE PRIOR TO APPROVAL BY THE ENGINEERING DIRECTOR OF CERTIFICATION FORM 1-01.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BASED UPON SPECIFIC SITE CONDITIONS.
- CONTACT THE CITY OF MONROE ENGINEERING DEPARTMENT, AT 704-282-4515, FOR A PRECONSTRUCTION MEETING PRIOR TO ANY LAND DISTURBING ACTIVITY.
- CONTRACTOR IS TO KEEP STREET CLEAR OF MUD AND OTHER DEBRIS PER THE CITY OF MONROE MUD ORDINANCE, TITLE VII, PARAGRAPH 71.20.
- THE PROFESSIONAL ENGINEER REGISTERED WITH THE STATE OF NORTH CAROLINA WHO PREPARED THE EROSION CONTROL PLAN IS SOLELY RESPONSIBLE FOR IDENTIFICATION AND LOCATION OF ALL ENVIRONMENTAL WETLANDS, PERENNIAL AND INTERMITTENT STREAMS AND BUFFERS SHOWN ON THE PLANS.
- THE CITY OF MONROE IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND ELEVATIONS, WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE. THE CITY OF MONROE, THROUGH THE APPROVAL OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

NO FILL MATERIAL OR OTHER DEVELOPMENT IS ALLOWED TO ENCRUCH INTO THE FLOODWAY OR NON-ENCROACHMENT AREA OF ANY WATERCOURSE. IF IT IS DETERMINED THAT FILL AND CONSTRUCTION ACTIVITY WILL OCCUR, IMMEDIATELY CONTRACT THE CITY OF MONROE STORMWATER DEPARTMENT.

CITY OF MONROE SCHEDULING NOTES:

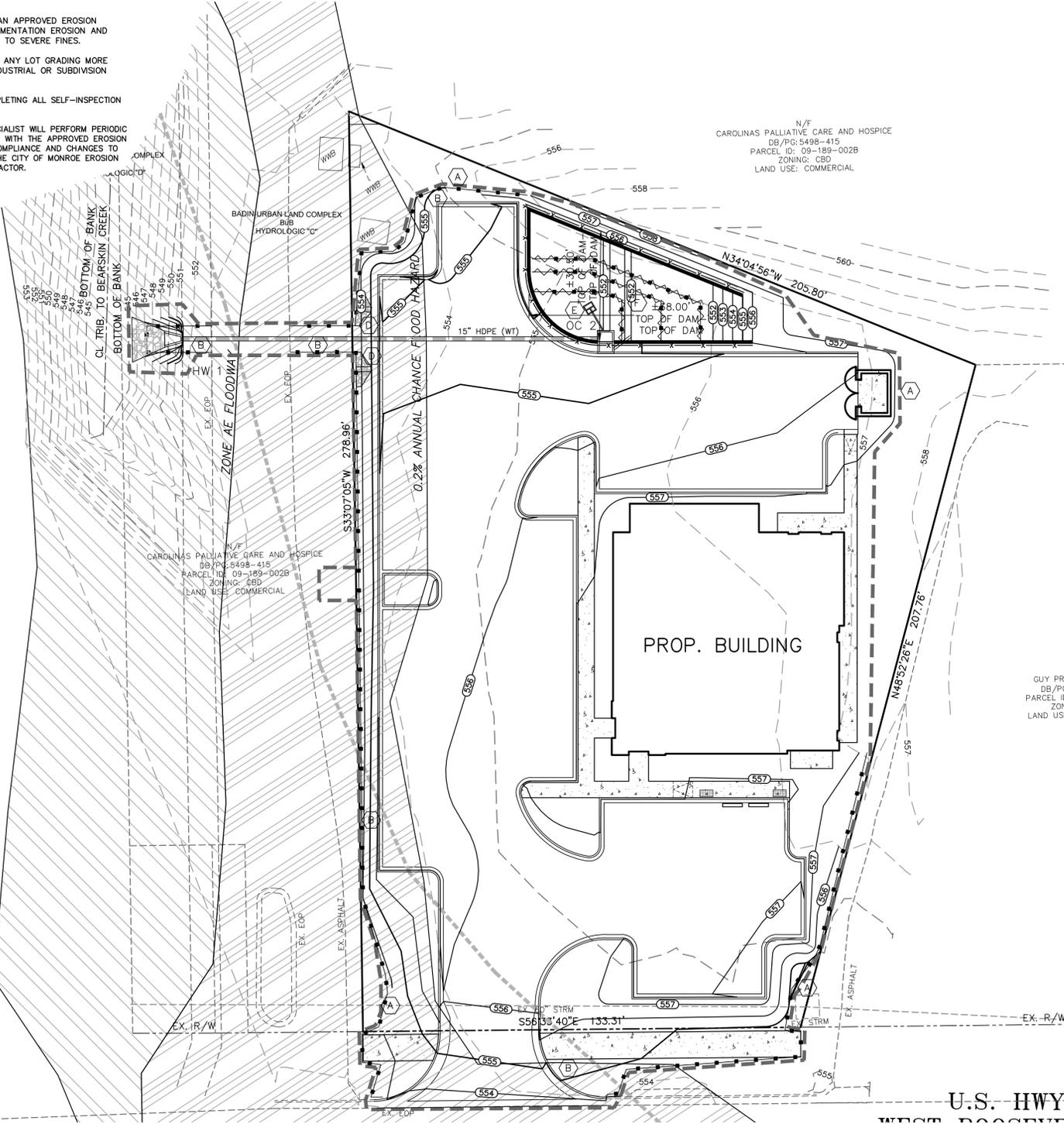
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE PROVIDED FOR ALL LAND DISTURBING WORK IN ACCORDANCE WITH AN EROSION CONTROL PLAN REVIEWED AND APPROVED BY THE CITY OF MONROE ENGINEERING DEPARTMENT.
- A GRADING PERMIT SHALL BE OBTAINED FROM THE CITY OF MONROE ENGINEERING DEPARTMENT PRIOR TO BEGINNING SITE WORK.
- EROSION CONTROL MEASURES SHALL BE INSTALLED BY THE DEVELOPER AND INSPECTED BY THE CITY OF MONROE ENGINEERING DEPARTMENT FOR COMPLIANCE PRIOR TO ANY LAND DISTURBING ACTIVITY.
- ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INCORPORATED INTO THE WORK AT THE EARLIEST PRACTICAL TIME.
- ALL TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL THE PERMANENT MEASURES HAVE TAKEN EFFECT OR ARE APPROVED FOR REMOVAL BY THE CITY OF MONROE ENGINEERING DEPARTMENT.
- TEMPORARY AND PERMANENT MEASURES SHALL BE COORDINATED TO PROVIDE EFFECTIVE AND CONTINUOUS EROSION CONTROL THROUGHOUT THE CONSTRUCTION AND POST-CONSTRUCTION PERIOD TO MINIMIZE SILTATION OF STREAMS, LAKES, RESERVOIRS, AND OTHER IMPOUNDMENTS, GROUND SURFACES, AND OTHER PROPERTY.
- TEMPORARY MEASURES SHALL REMAIN IN PLACE UNTIL THE ENGINEERING DIRECTOR APPROVES CERTIFICATION FORM 1-06 FINAL EROSION CONTROL ACCEPTANCE FORM.

CITY OF MONROE CONSTRUCTION SEQUENCE NOTES:

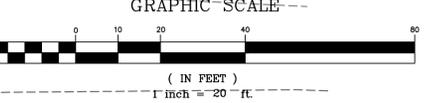
- OBTAIN APPROVAL LETTER FOR EROSION CONTROL AND SCHEDULE PRE-CONSTRUCTION MEETING ON-SITE WITH THE CITY OF MONROE ENGINEERING DEPARTMENT EROSION CONTROL SPECIALIST. ALL APPROVED PLANS AND REQUIRED PERMITS WILL BE ISSUED AT THE MEETING PRIOR TO ANY LAND DISTURBING ACTIVITY.
- INSTALL ALL EROSION CONTROL MEASURES AS SHOWN ON APPROVED PLAN.
- SUBMIT CERTIFICATION FORM 1-01, PRIMARY EROSION CONTROL INSPECTION FORM, TO THE EROSION CONTROL SPECIALIST DURING THE INSPECTION OF INSTALLED EROSION CONTROL MEASURES.
- PROCEED WITH GRADING.
- SEED AND MULCH DENUEDED AREA IMMEDIATELY AFTER FINISHED GRADES ARE ESTABLISHED.
- MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL A PERMANENT GROUND COVER IS ESTABLISHED.
- ADDITIONAL MEASURES MAY BE REQUIRED BASED UPON ACTUAL SITE CONDITIONS.
- SUBMIT CERTIFICATION FORM 1-06, FINAL EROSION CONTROL ACCEPTANCE FORM, TO THE EROSION CONTROL SPECIALIST TO SCHEDULE A FINAL ON-SITE INSPECTION.
- REMOVE SOIL EROSION CONTROL MEASURES AND STABILIZE THESE AREAS UPON APPROVAL OF CERTIFICATION FORM 1-06.
- SUBMIT CERTIFICATION FORM 1-07 WHEN THERE IS AN INTERMEDIARY REMOVAL OF EROSION CONTROL MEASURES.

BC = BACK OF CURB
 TS = TOP OF SIDEWALK
 HC = HANDICAP
 BW = BOTTOM OF WALL
 EP = EDGE OF PAVEMENT
 HP = RELATIVE HIGH POINT
 CL = CENTERLINE OF DRIVE
 OC = OUTLET CONTROL
 FES = FLARED END SECTION

ABBREVIATION LEGEND



Know what's below.
 Call before you dig.



U.S. HWY 74
 WEST ROOSEVELT BLVD

Mc² ENGINEERING
 ENGINEERING
 MC² ENGINEERING, INC.
 2110 BEN CRAIG DR., STE. 400
 CHARLOTTE, NC 28262
 PHONE 704.510.9797

2/21/23

THE DESIGN AND DRAWINGS SHOWN ARE THE PROPERTY OF MC² ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY MC² ENGINEERING, INC. IS PROHIBITED. 2021 © ENGINEERING, INC. IS PROHIBITED.

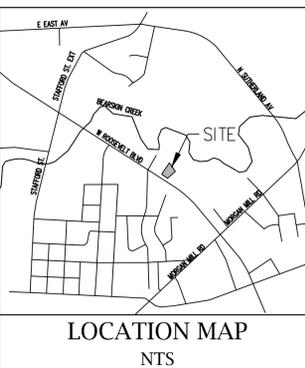
AY CARAMBA
 FAMILY RESTAURANT
 650 WEST ROOSEVELT BOULEVARD
 MONROE, NC 28110

EROSION CONTROL PLAN - PHASE 2

REVISIONS	
3	2/6/23 VARIOUS COMMENTS
4	2/21/23 MONROE STORMWATER

CAD FILE: 22-008 BASE.DWG
 PROJECT NO.: 22-008
 DESIGNED BY: JDM
 REVIEWED BY: JDM
 DATE: AUGUST 30, 2022

C3.1



DISTURBED ACREAGE:
 ±0.93 AC (40,298 SF)

SOIL TYPE:
 BuB - Badin Urban Land Complex
 CnB - CID Urban Land Complex

SOIL LEGEND

BC = BACK OF CURB
 TS = TOP OF SIDEWALK
 HC = HANDICAP
 BW = BOTTOM OF WALL
 EP = EDGE OF PAVEMENT
 HP = RELATIVE HIGH POINT
 CL = CENTERLINE OF DRIVE
 OC = OUTLET CONTROL
 FES = FLARED END SECTION

ABBREVIATION LEGEND

GRADING NOTES:

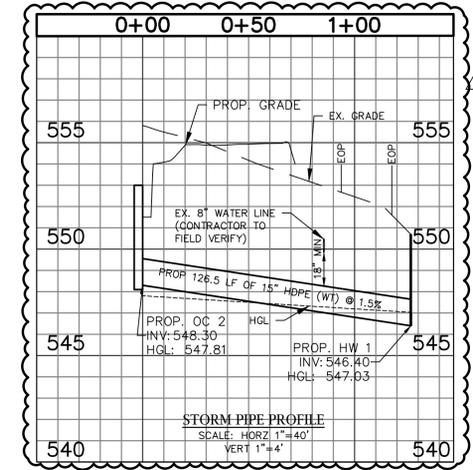
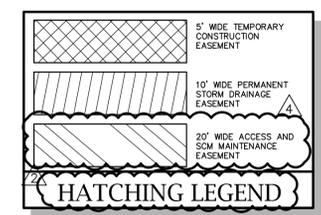
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL GRADED AREAS, INCLUDING PAVING, LAWN AND LANDSCAPE AREAS.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK, BOTH PUBLIC AND PRIVATE. CONTRACTOR IS FULLY RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND SHALL REPAIR ANY DAMAGE AS A RESULT OF THIS CONTRACT.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- THE PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN DRIVES, PARKING LOTS, AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT.
- PIPE LENGTHS SHOWN ARE THE ENGINEER'S ESTIMATE USED TO COMPUTE PIPE SLOPES AND INVERTS AND SHALL NOT BE CONSTRUED BY THE CONTRACTOR TO REPRESENT THE ACTUAL QUANTITY OF PIPE REQUIRED.
- NO DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING, ETC., SHALL BE ALLOWED IN TREE PROTECTION ZONES. NO ON-SITE BURIAL WILL BE ALLOWED.

HDPE PIPE INSTALLATION NOTES:

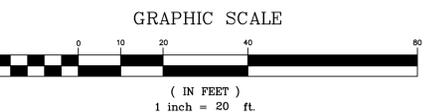
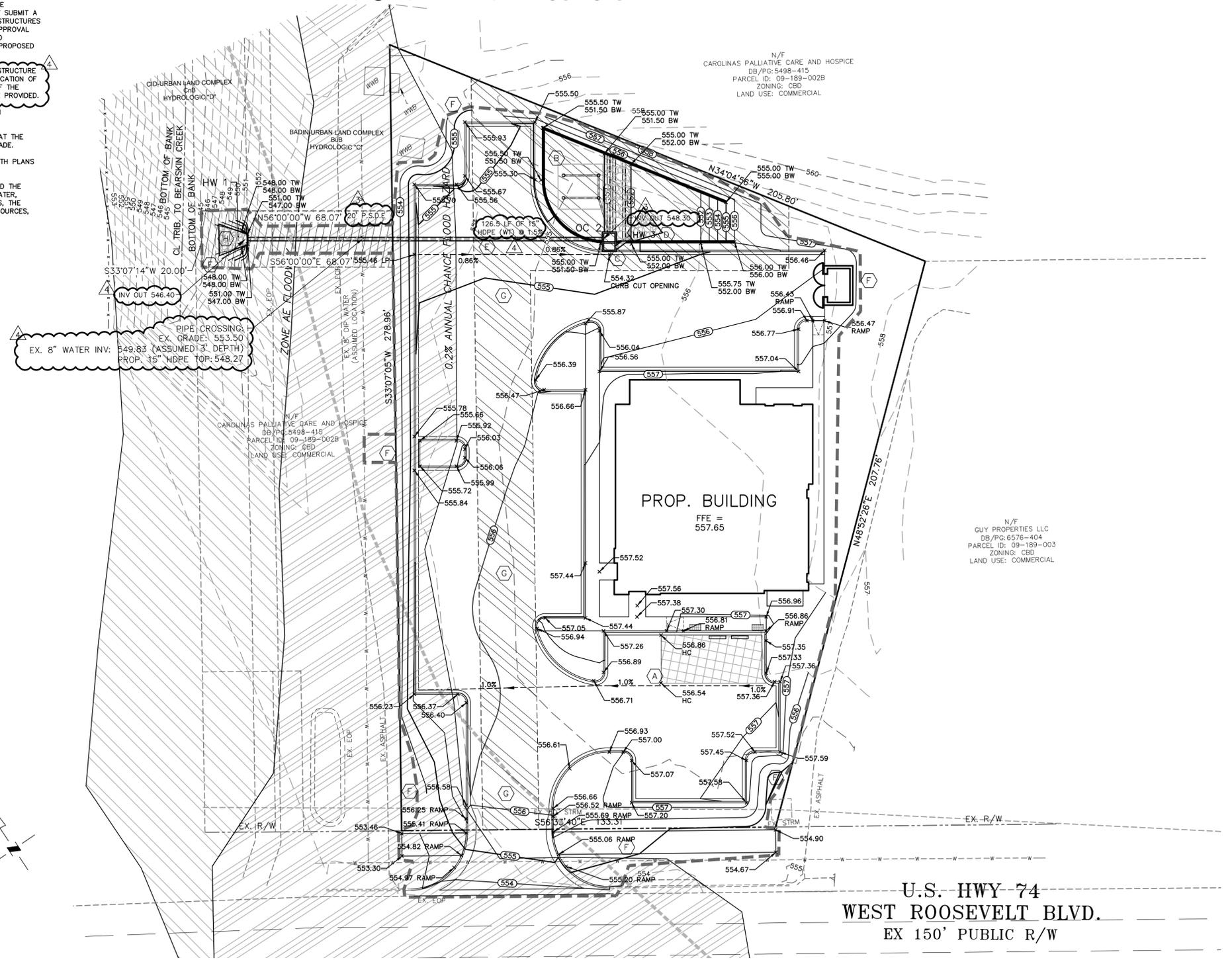
- THE PRODUCT USED SHALL BE CORRUGATED EXTERIOR/SMOOTH INTERIOR PIPE (TYPE S), CONFORMING TO THE REQUIREMENTS OF AASHTO SPECIFICATION M294 (LATEST EDITION) FOR CORRUGATED POLYETHYLENE PIPE.
- BELL AND SPIGOT JOINTS SHALL BE REQUIRED ON ALL PIPE INSIDE THE RIGHT-OF-WAY. BELL SHALL COVER AT LEAST TWO FULL CORRUGATIONS ON EACH SECTION OF PIPE. THE BELL AND SPIGOT JOINT SHALL HAVE AN "O"-RING RUBBER GASKET MEETING ASTM F477 WITH THE GASKET FACTORY INSTALLED, PLACED ON THE SPIGOT END OF THE PIPE. ALL JOINTS SHALL MEET OR EXCEED THE SOIL TIGHTNESS REQUIREMENT OF AASHTO STANDARD SPECIFICATION FOR HIGHWAY BRIDGES, SECTION 23, PARAGRAPH 23.5.4(E). PIPE JOINTS SHALL ALSO MEET ALL REQUIREMENTS OF AASHTO M294.
- BACKFILL MATERIAL USED TO INSTALL RCP PIPE WITHIN THE STREET RIGHT-OF-WAY SHALL BE SELECT MATERIAL CLASS II-IV, AS DEFINED BY SECTION 1016-3 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES. UPON SUBMITTAL OF WRITTEN CERTIFICATION OF MATERIAL SUITABILITY BY A LICENSED GEOTECHNICAL ENGINEER, NCDOT CLASS I SELECT MATERIAL MAY BE USED. ALL BACKFILL MATERIAL SHALL BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE STREET RIGHT-OF-WAY.
- THE MINIMUM LENGTH OF HDPE PIPE PERMITTED FOR USE SHALL BE FOUR (4) FEET. HDPE FLARED END SECTIONS ARE NOT PERMITTED.
- ALL HDPE PIPE INSTALLED SHALL BE THIRD PARTY CERTIFIED AND SHALL BEAR THE PLASTIC PIPE INSTITUTE'S (PPI) CERTIFICATION STICKER.

MONROE CONSTRUCTION NOTES:

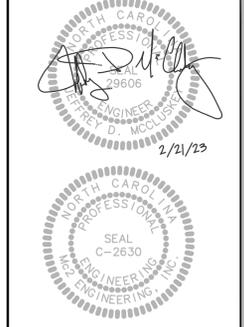
- ALL ROADWAY CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF MONROE STANDARD SPECIFICATIONS AND DETAIL MANUAL, AND THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, LATEST EDITION EXCEPT WHEN OTHERWISE NOTED.
- ALL STORM DRAIN PIPES SHALL BE PLACED TO PROPER GRADE AND ALIGNMENT PER APPROVED PLANS.
- NO CRACKED OR BROKEN PIPES SHALL BE PLACED OR ACCEPTED IN CONSTRUCTION OF THE PROJECT.
- ALL CATCH BASINS 3'-6" DEEP OR MORE SHALL HAVE STEPS PLACED AT 1'-2" ON CENTER.
- EROSION CONTROL MEASURES SHALL BE PLACED AROUND DRAINAGE INLETS AND CATCH BASINS.
- ALL PIPES IN STORM DRAINAGE STRUCTURES SHALL BE CUT OFF FLUSH WITH THE INSIDE WALL.
- ALL STRUCTURES SHALL BE SMOOTH INSIDE AND OUTSIDE OF THE STRUCTURE USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS TO AVOID DEBRIS BUILD-UP OBSTRUCTING FLOW.
- ALL TAIL DITCHES SHALL HAVE POSITIVE DRAINAGE WITH A MINIMUM 1.0% SLOPE.
- THE DEVELOPER SHALL OBTAIN ANY OFF-SITE DRAINAGE EASEMENT FROM ADJACENT PROPERTY OWNERS REQUIRED TO COMPLETE THE IMPROVEMENTS OR PROVIDE POSITIVE DRAINAGE FLOW PRIOR TO CONSTRUCTION PLAN APPROVAL.
- ALL CONCRETE FOR DRAINAGE STRUCTURES SHALL BE A MINIMUM OF 3,600 PSI EXCEPT WHERE OTHERWISE NOTED OR REQUIRED.
- IF THE DEVELOPER WISHES TO USE ANY PRE-CAST STORM DRAINAGE STRUCTURES WITHIN A PROPOSED STREET RIGHT-OF-WAY, HE MUST SUBMIT A PROFESSIONAL ENGINEER CERTIFICATION FOR THE STRUCTURE. ALL STRUCTURES MUST BE CERTIFIED TO ADEQUATELY CARRY H2O LOADING. PRIOR APPROVAL FROM THE ENGINEERING DIRECTOR SHALL BE OBTAINED IN ORDER TO INCORPORATE ANY PRE-CAST STORM DRAINAGE STRUCTURES IN A PROPOSED STREET RIGHT-OF-WAY.
- UNDER NO CIRCUMSTANCES SHALL A PRE-CAST STORM DRAINAGE STRUCTURE BE CUT OR ALTERED, WITHOUT A PROFESSIONAL ENGINEER'S CERTIFICATION OF ADEQUATE LOAD BEARING STRENGTH FOLLOWING THE ALTERATION OF THE STRUCTURE, EXCEPT WHERE DESIGNATED "KNOCK-OUT" PANELS ARE PROVIDED.
- UNDER NO CIRCUMSTANCES SHALL WATER BE PERMITTED TO RISE IN UNBACKFILLED TRENCHES AFTER THE PIPE HAS BEEN PLACED.
- THE LAYING OF PIPE IN THE FINISHED TRENCH SHALL BE STARTED AT THE LOWEST POINT AND LAID UPGRADE. THE BELL SHALL BE LAID UPGRADE.
- SURVEY STAKING AND PROPOSED GRADES SHALL BE CONSISTENT WITH PLANS AND FIELD CONDITIONS.
- NO CONSTRUCTION ACTIVITIES ARE ALLOWED TO TAKE PLACE BEYOND THE FLOODPLAIN LINE OR THE STREAM BUFFER LINE, WHICHEVER IS GREATER, WITHOUT A PERMIT ISSUED BY THE U.S. ARMY CORPS OF ENGINEERS, THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES, AND THE CITY OF MONROE.



- KEY NOTES:**
- (A) HANDICAP PARKING AREA (SHADED AREA) SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0% FROM PARKING SPACES TO ADA RAMPS AT SIDEWALK.
 - (B) PROPOSED SAND FILTER SEE DETAILS ON SHEET C4.1.
 - (C) OUTLET CONTROL SPLITTER BOX SEE DETAIL 6/C9.2.
 - (D) RIP RAP APRON AT PIPE OUTLETS SEE DETAIL 4/C9.2.
 - (E) PROPOSED 126.50 LF OF 15" HDPE (WT) PIPE INSTALLED AT 1.0%.
 - (F) DENUEDED LIMITS.
 - (G) 20' SCM ACCESS AND MAINTENANCE EASEMENT PROVIDED.
 - (H) PROPOSED CONCRETE ENDWALL (NCDOT 838.80) PER DETAIL 4/C9.3. AND RIP RAP OUTLET PROTECTION SEE DETAIL 4/C9.2.



U.S. HWY 74
 WEST ROOSEVELT BLVD.
 EX 150' PUBLIC R/W



THE SEALS AND DRAWINGS SHOWN ARE THE PROPERTY OF M&J ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY M&J ENGINEERING, INC. IS PROHIBITED.

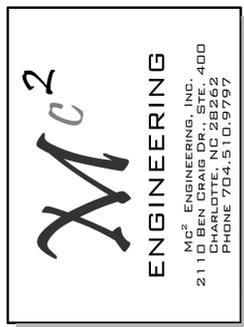
AY CARAMBA
 FAMILY RESTAURANT
 650 WEST ROOSEVELT BOULEVARD
 MONROE, NC 28110

GRADING PLAN

REVISIONS		
1	9/30/22	CITY COMMENTS
2	10/28/22	VARIOUS COMMENTS
3	2/6/23	VARIOUS COMMENTS
4	2/21/23	MONROE STORMWATER

CAD FILE: 22-008 BASE.DWG
 PROJECT NO.: 22-008
 DESIGNED BY: JDM
 REVIEWED BY: JDM
 DATE: AUGUST 30, 2022

C4.0



2'-0" VALLEY GUTTER

STANDARD 2'-6" CURB AND GUTTER

2'0" MOUNTABLE CURB

STANDARD 2'-0" CURB AND GUTTER

APPROVED DATE: **1/29/20**

NO.	DATE	DESCRIPTION

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: E:\Maps-Details\Detail Manual\Details
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 02.02.01

TRANSVERSE EXPANSION JOINT

GROOVE JOINT IN SIDEWALK

TRANSVERSE EXPANSION JOINT IN SIDEWALK

APPROVED DATE: **2/29/20**

NO.	DATE	DESCRIPTION

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: E:\Maps-Details\Detail Manual\Details
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 02.02.03

CONCRETE SIDEWALKS

DETAILS SHOWING EXPANSION JOINTS IN CONCRETE SIDEWALK

APPROVED DATE: **3/20/22**

NO.	DATE	DESCRIPTION
1	05/08	ADD NOTE
2	01/15	ADD NOTE #9

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: E:\Maps-Details\Detail Manual\Details
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 02.03.01

TRUNCATED DOME PLAN VIEW

TRUNCATED DOME SPACING

TRUNCATED DOME SECTION

APPROVED DATE: **4/29/20**

NO.	DATE	DESCRIPTION

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: E:\Maps-Details\Detail Manual\Details
DRAWN BY: DKO DATE: 4-20-04
CHECKED BY: JNL SCALE: N.T.S.
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 02.05.04

ACCESSIBLE RAMP

TRUNCATED DOME PLAN VIEW

TRUNCATED DOME SECTION

APPROVED DATE: **5/29/20**

NO.	DATE	DESCRIPTION

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: E:\Maps-Details\Detail Manual\Details
DRAWN BY: DKO DATE: 4-20-04
CHECKED BY: JNL SCALE: N.T.S.
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 02.05.04

ACCESSIBILITY RAMP DROP CURB

ISOMETRIC VIEW

PLAN VIEW

SECTION A-A

SECTION B-B

APPROVED DATE: **6/29/20**

NO.	DATE	DESCRIPTION
1	02/04	ALLOW DIAGONAL RAMP
2	02/04	ALLOW DIAGONAL RAMP
3	02/04	NEW ADA STANDARDS

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: E:\Maps-Details\Detail Manual\Details
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 02.05.01A

SEEDING:

SEEDING MIXTURE:
GRASS SEED FOR URBAN LANDSCAPE PLANTINGS SHALL BE A BLEND OF TWO OR MORE VARIETIES OF TURFGRASS. FESCUES AS SPECIFIED ON PLANS OR APPROVED BY ENGINEER. SELECTION SHALL BE APPROVED BY THE CITY.

SOIL AMENDMENTS:
FOLLOW RECOMMENDATIONS OF SOIL TESTS. LIME SHALL BE PELLETED DOLOMITIC LIMESTONE THAT MEETS NCSL STANDARDS FOR PARTICLE SIZES. ALL LIME SHALL BE UNIFORM IN COMPOSITION, DRY, FREE FLOWING AND SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINER, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS. ANY LIME WHICH BECOMES CAKED OR OTHERWISE DAMAGED WILL NOT BE ACCEPTED. COMMERCIAL FERTILIZER APPLIED AT SEEDING/SODDING TIME SHALL BE A SLOW RELEASE STARTER FERTILIZER. ALL FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY, FREE FLOWING AND SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINER, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS. ANY LIME WHICH BECOMES CAKED OR OTHERWISE DAMAGED WILL NOT BE ACCEPTED.

PROTECTIVE ORGANIC MULCH:
MULCH SHALL BE CLEAN THRESHED WHEAT OR OAT STRAW FROM THE LATEST AVAILABLE HARVEST CROP AND SHALL BE FREE OF NOXIOUS WEED SEEDS AND FOREIGN MATERIAL. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE ENGINEER.

SOIL TESTING:
TESTING RESULTS SHALL BE PROVIDED BY CONTRACTOR PRIOR TO INSTALLATION OF CROP BASED ON SOIL TESTS RESULTS AND DIRECTION OF ENGINEER. DETONATIONS WHICH ARE CORRECTED BY THE CONTRACTOR, ANY SAMPLE FOR APPROVAL WILL BE THE CONTRACTOR'S OR VENDOR'S RESPONSIBILITY AND MUST BE TESTED BY A REPUTABLE SOIL TESTING LAB.

PREPARATION OF SEED BED:
UNLESS OTHERWISE APPROVED BY THE CITY, ALL OTHER SITE WORK REQUIRED BY THIS CONTRACT SHALL BE COMPLETED AND IN PLACE BEFORE GRASSING OPERATIONS ARE BEGUN. WORK MAY BE COMPLETED IN PHASES IF SO REQUESTED BY THE CONTRACTOR AND APPROVED BY THE CITY. PRIOR TO SEEDING OPERATIONS, ALL PREPARED LAWN AREAS SHALL BE SCRAPED/TILLED TO 4" DEPTH AND PREPARED UNTIL THE SURFACE IS SMOOTH, FRAGILE AND OF A UNIFORMLY FINE TEXTURE. REMOVE STONES AND FOREIGN MATERIAL OVER ONE INCH IN DIAMETER OR GRAVEL OR POSITIVE DRAINAGE AS REQUIRED TO PREVENT THE FORMING OF WATER. AFTER FINE GRADING/RAKING, THE SOIL SHALL BE FIRMED SO THAT THE SOIL SURFACE SHALL BEAR THE WEIGHT OF A PERSON AND NOT FORM A DEPRESSION IN EXCESS OF ONE (1) INCH.

LIME, SOIL ADDITIVES AND STARTER FERTILIZER SHALL BE BROADCASTED AND WORKED INTO THE SOIL UNIFORMLY DURING TILLAGG AT ALL AREAS AT THE RATE DICTATED BY THE SOIL TEST THAT WILL PROVIDE A pH LEVEL OF 6.5 TO 7.0.

MAINTENANCE:
SEEDING AREAS SHALL CONSIST OF FERTILIZATION, EROSION REPAIR, RESEEDING AND INCIDENTAL OPERATIONS AS NECESSARY TO ESTABLISH A VIGOROUS, HEALTHY AND UNIFORM STAND OF SPECIFIED GRASS. ALL AREAS THAT FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON SHALL BE TREATED PROPERLY UNTIL A UNIFORM STAND OF AT LEAST 90% COVERAGE IS ATTAINED WITH NO BARE AREAS.

GRASS MOWING OPERATIONS SHALL BE PERFORMED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE WORK. TRASH AND DEBRIS SHALL BE REMOVED PRIOR TO MOWING. MOWING SHALL BE PERFORMED ONLY WHEN THE GRASS IS DRY, NO MORE THAN 1/3 LEAF BLADE SHALL BE REMOVED AT EACH MOWING. TURF TYPE TALL FESCUE SHALL BE MAINTAINED AT A 3.5 TO 4 INCH HEIGHT. BERMUDA SHALL BE MAINTAINED AT A HEIGHT OF 1.5 TO 2 INCHES. ALL MAINTENANCE PERFORMED PRIOR TO ACCEPTANCE SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE PAYMENT SHALL BE MADE.

WATERING:
SEEDING AREAS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MANAGE A WATERING PROGRAM THAT RESULTS IN A STAND OF TURF THAT MEETS THE GUARANTEE REQUIREMENT OF THESE STANDARDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DECIDE THE IRRIGATION DURATION AND FREQUENCY, BASED ON WEATHER AND SOIL CONDITIONS THAT PRODUCE THE REQUIRED RESULTS.

FERTILIZER TOP DRESSING SHALL BE DONE AS PER MANUFACTURER'S RECOMMENDED DATES.

APPROVED DATE: **7/29/20**

NO.	DATE	DESCRIPTION

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: E:\Maps-Details\Detail Manual\Details
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 02.05.04

FOR LATE WINTER AND EARLY SPRING:

SEEDING MIXTURE:
RYE (ORAN) - 120 LB/ACRE
ANNUAL LESPEDEZA (KOBE) - 50 LB/ACRE
(OMT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXCEED BEYOND JUNE)

MULCH:
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
RE-FERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

SEEDING DATES:
JAN. 1 - MAY 1

FOR SUMMER:

SEEDING MIXTURE:
GERMAN MILLET - 40 LB/ACRE
(A SMALL-STEMMED SUBGRASS MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE)

MULCH:
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
RE-FERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

SEEDING DATES:
MAY 1 - AUG. 15

FOR FALL:

SEEDING MIXTURE:
RYE (ORAN) - 120 LB/ACRE

MULCH:
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE:
REPAIR AND RE-FERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

FOR ADDITIONAL INFORMATION, REFER TO NCSL'S EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL (ESCPDM), SECTION 6.10. FOR PERMANENT SEEDING SPECIFICATIONS, INCLUDING SEED BED PREP, SEASONAL LIMITATIONS FOR SEEDING OPERATIONS, THE KINDS OF GRASSES OF FERTILIZERS, THE KINDS OF SEED, AND THE DATES OF APPLICATION OF LIMESTONE, FERTILIZER, AND SEED, REFER TO NCSL'S ESCPDM SECTION 6.11 AND THE CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 04200 SEEDING AND SODDING OF TURFGRASS.

APPROVED DATE: **8/29/20**

NO.	DATE	DESCRIPTION

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: E:\Maps-Details\Detail Manual\Details
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 02.05.04

DUMPSTER ENCLOSURE WITH FENCE

SIDE/REAR VIEW

FRONT/GATE VIEW

APPROVED DATE: **9/29/20**

NO.	DATE	DESCRIPTION

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: E:\Maps-Details\Detail Manual\Details
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 02.05.01A

M² ENGINEERING

M² ENGINEERING, INC.
2110 BELLEVILLE RD. #400
CHARLOTTE, NC 28226
PHONE 704.510.9797

PROFESSIONAL ENGINEER

SEAL C-2630

8/30/22

AY CARAMBA FAMILY RESTAURANT

2555 CUTHBERTSON ROAD
WAXHAW, NC 28173

THE DESIGNS AND DRAWINGS SHOWN ARE THE PROPERTY OF M² ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY M² ENGINEERING, INC. IS PROHIBITED.

SITE DETAILS

REVISIONS

NO.	DATE	DESCRIPTION

CAD FILE: 22-008 BASE.DWG
PROJECT NO.: 22-008
DESIGNED BY: JDM
REVIEWED BY: JDM
DATE: JUNE 29, 2022

C9.0

GENERAL NOTES:

- FENCE FABRIC SHALL BE A MINIMUM OF 24" ABOVE GROUND SURFACE AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 6" STAY SPACING.
- FILTER FABRIC SHALL BE MIRAFI 100 FABRIC OR EQUIVALENT.
- BURLAP CANNOT BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
- STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
- ORANGE SAFETY FENCE IS REQUIRED AT BACK OF SILT FENCE WHEN GRADING IS ADJACENT TO STREAMS OR WETLANDS. THE COLOR ORANGE IS RESERVED FOR VISUAL IDENTIFICATION OF ENVIRONMENTALLY SENSITIVE AREAS.
- DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS, OR OTHER AREAS OF CONCENTRATED FLOW.
- DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE FOR SLOPES LESS THAN 2%.
- SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.

MAINTENANCE:
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

REFERENCE: NCDOT PLANNING AND DESIGN MANUAL, JUNE 2008

NO. DATE DESCRIPTION
1 8/20/04 SEE NOTES, SEE DETAIL 03.16.01
2 05/08 SEE NOTES, SEE DETAIL 03.16.01
3 04/01 SEE NOTES, SEE DETAIL 03.16.01

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: 1-Monroe-Detail Manual/Details/Standard/Detail & Spec Manual/Standard/Detail/01
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.

SILT FENCE INSTALLATION
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 03.01.01

GENERAL NOTES:

- A STABILIZED PAD OF CRUSHED STONE SHALL BE LOCATED WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC STREET.
- STONE TO BE 2 TO 3 INCH WASHED STONE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY. WHEN NECESSARY WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
- FILTER FABRIC SHALL BE MIRAFI 500 OR EQUAL.
- ENTRANCE SHALL BE A MINIMUM OF 20' IN WIDTH OR THE WIDTH OF THE EXIT, WHICHEVER IS GREATER.

APPROVED DATE: _____

NO. DATE DESCRIPTION
1 8/20/04 ENTRANCE WIDTH
2 04/01 STONE SIZE

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: 1-Monroe-Detail Manual/Details/Standard/Detail & Spec Manual/Standard/Detail/01
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.

STABILIZED CONSTRUCTION ENTRANCE
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 03.04.01

GENERAL NOTES:

- USE WASHED NO. 5 OR NO. 57 STONE FOR SEDIMENT CONTROL STONE.
- USE HARDWARE CLOTH 24 GAUGE WIRE MESH WITH 1/4 INCH MESH OPENINGS.
- INSTALL 5 FT. SELF FASTENER ANGLE STEEL POST 2 FT. DEEP MINIMUM.
- SPACE POST A MAXIMUM OF 3 FT.
- FOR INSTALLATION BETWEEN SECTIONS OF SILT FENCE, EXTEND SEDIMENT CONTROL STONE A MINIMUM OF 12" IN WIDTH ON EACH SIDE OF SPECIAL SEDIMENT CONTROL FENCE SECTION.

MAINTENANCE NOTES:

- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- SHOULD THE FABRIC OR WIRE MESH OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. REPLACE #5 OR #57 AS NECESSARY WHEN CLEANING OUT SEDIMENT.
- REMOVE ALL FENCING, WIRE MESH AND STONE MATERIAL AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

APPROVED DATE: _____

NO. DATE DESCRIPTION
1 8/20/04 ENTRANCE WIDTH
2 04/01 STONE SIZE

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: 1-Monroe-Detail Manual/Details/Standard/Detail & Spec Manual/Standard/Detail/01
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.

TEMPORARY SILT FENCE STONE OUTLET
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 03.04.01

CONSTRUCTION SPECIFICATIONS:

- BOTTOM GRADE SHALL BE 0.0 %.
- SIDE SLOPES 2:1 OR FLATTER.
- SIDEWALLS SHALL EXTEND UP AS SHOWN ON THE PLANS BUT NOT LESS THAN TWO-THIRDS THE PIPE DIAMETER.
- THERE SHALL BE NO OVERFALL FROM THE END OF THE APRON TO THE SURFACE OF THE RECEIVING CHANNEL. THE AREA TO BE PAVED OR RIP-RAPPED SHALL BE UNDERCUT SO THAT THE INVERT OF THE APRON SHALL BE AT THE SAME GRADE (FINISH) WITH THE SURFACE OF THE RECEIVING CHANNEL. THE APRON SHALL HAVE A CUTOFF TO THE WALL AT THE DOWNSTREAM END.
- APRON DIMENSIONS AND RIP-RAP SIZE OR CONCRETE THICKNESS MUST BE AS SHOWN ON THE PLANS.
- THE WIDTH OF THE END OF THE APRON SHALL BE EQUAL TO THE BOTTOM WIDTH OF THE RECEIVING CHANNEL AT THE OUTLET PIPE, WHICHEVER IS GREATER, OR 3 TIMES THE DIAMETER.
- THE PLACING OF FILL, EITHER LOOSE OR COMPACTED IN THE RECEIVING CHANNEL SHALL NOT BE ALLOWED.
- NO BENDS OR CURVES IN THE HORIZONTAL ALIGNMENT OF THE APRON WILL BE PERMITTED.
- FILTER FABRIC TO BE MIRAFI 500 OR APPROVED EQUAL.
- THICKNESS OF RIP-RAP TO BE 1' OR AS NOTED BY THE ENGINEER.

OUTLET	L ₁	W ₁	H ₁	L ₂	W ₂	H ₂
HW 1	10'	11.25'	3.75'	13.5'	10'	
HW 3	10'	11.25'	3.75'	13.5'	10'	

NO. DATE DESCRIPTION
1 8/20/04 SEE NOTES, SEE DETAIL 03.16.01
2 05/08 SEE NOTES, SEE DETAIL 03.16.01
3 04/01 SEE NOTES, SEE DETAIL 03.16.01

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: 1-Monroe-Detail Manual/Details/Standard/Detail & Spec Manual/Standard/Detail/01
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.

RIP RAP APRON FOR F.E.S.
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 03.05.01

CONSTRUCTION SPECIFICATIONS:

- UNIFORM GRADE & SMOOTH EXPRESSION APPROACHING THE INLET.
- MOVE 3 FEET STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAX OF 4 FEET APART.
- SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACE A 2 FEET FLAP UP OF THE WIRE MESH INTO THE GRAVEL FOR ANCHORING. IS RECOMMENDED.
- PLACE CLEAN GRAVEL INSET #5 OR #57 STONES ON A 2% SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE MESH TO AN EVEN GRADE.
- ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT AND ESTABLISH FINAL GRADING ELEVATIONS.
- COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GRASS/VEGETATION.

MAINTENANCE:
INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT GLE INCH OR GREATER RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY BERMS OR OTHER OBSTACLES TO PROPER DRAINAGE FLOW FOR SEVERE DRAINAGE. TAKE CARE NOT TO BRUSH OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

REFERENCE: NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES

NO. DATE DESCRIPTION
1 8/20/04 ENTRANCE WIDTH
2 04/01 STONE SIZE

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: 1-Monroe-Detail Manual/Details/Standard/Detail & Spec Manual/Standard/Detail/01
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.

HARDWARE CLOTH AND GRAVEL INLET PROTECTION
PREPARED BY: ENGINEERING DEPARTMENT
DETAIL 03.18.01

INTERNAL WEIR

SAND FILTER INLET SPLITTER BOX
OC 2
-NTS-

NO. DATE DESCRIPTION
1 8/20/04 SEE NOTES, SEE DETAIL 03.16.01
2 05/08 SEE NOTES, SEE DETAIL 03.16.01
3 04/01 SEE NOTES, SEE DETAIL 03.16.01

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: 1-Monroe-Detail Manual/Details/Standard/Detail & Spec Manual/Standard/Detail/01
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.

NCDOT TYPICAL PAVEMENT SECTION WITHIN NCDOT ROW
-NTS-

NO. DATE DESCRIPTION
1 8/20/04 SEE NOTES, SEE DETAIL 03.16.01
2 05/08 SEE NOTES, SEE DETAIL 03.16.01
3 04/01 SEE NOTES, SEE DETAIL 03.16.01

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: 1-Monroe-Detail Manual/Details/Standard/Detail & Spec Manual/Standard/Detail/01
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.

RECOMMENDED ROAD CONNECTION WITH CURB AND GUTTER
*SEE ISLAND DETAIL IF AN INTERIOR ISLAND IS TO BE INSTALLED

NOTE: Drainage easements may be required to accommodate drainage beyond the right-of-way.

NO. DATE DESCRIPTION
1 8/20/04 SEE NOTES, SEE DETAIL 03.16.01
2 05/08 SEE NOTES, SEE DETAIL 03.16.01
3 04/01 SEE NOTES, SEE DETAIL 03.16.01

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: 1-Monroe-Detail Manual/Details/Standard/Detail & Spec Manual/Standard/Detail/01
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.

CONCRETE WHEEL STOP
-NTS-

NO. DATE DESCRIPTION
1 8/20/04 SEE NOTES, SEE DETAIL 03.16.01
2 05/08 SEE NOTES, SEE DETAIL 03.16.01
3 04/01 SEE NOTES, SEE DETAIL 03.16.01

CITY OF MONROE
UNION COUNTY NORTH CAROLINA
ENGINEERING DEPARTMENT

FILE: 1-Monroe-Detail Manual/Details/Standard/Detail & Spec Manual/Standard/Detail/01
DRAWN BY: JAM DATE: 08-07-01
CHECKED BY: JNL SCALE: N.T.S.

M² ENGINEERING
M² ENGINEERING, INC., 1400
2110 BELLEVILLE RD., SUITE 202
CHARLOTTE, NC 28262
PHONE 704.510.9797

PROFESSIONAL SEAL
D. MCCUSK
2/21/23

THE DESIGNS AND DRAWINGS SHOWN ARE THE PROPERTY OF M² ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY M² ENGINEERING, INC. IS PROHIBITED. 2021

AY CARAMBA FAMILY RESTAURANT
2525 CUTHBERTSON ROAD
WAXHAW, NC 28173

SITE DETAILS

REVISIONS

1	9/30/22	CITY COMMENTS
2	10/28/22	VARIOUS COMMENTS
3	12/15/22	VARIOUS COMMENTS
4	2/21/23	MONROE STORMWATER

CAD FILE: 22-008 BASE.DWG
PROJECT NO.: 22-008
DESIGNED BY: JDM
REVIEWED BY: JDM
DATE: JUNE 29, 2022

C9.2

